

PLANNING JUSTIFICATION REPORT
Proposed Two Office Buildings and Contractors Yard
Applications for Town OPA, ZBA and SPA
15123 Woodbine Avenue - Phase 2
Town of Whitchurch-Stouffville

Prepared for:
SCAL PROPERTIES LTD.

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ALCORN & ASSOCIATES LIMITED
Land Planning & Development Consultants

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1.0 PROPOSAL

SCAL Properties Ltd. is the registered owner of 12.47 ha at 15123 Woodbine Avenue, extending through to Fortecon Drive, in the Town of Whitchurch-Stouffville. The Limen Group, a related construction company, proposes an industrial warehouse building and contractors yard on the easterly subject 8.450 ha, known as Phase 1, fronting on, Fortecon Drive (**Figure 1**). For its remainder Phase 2 site of 4.02 ha fronting on Woodbine Avenue, two Limen office buildings of two stories each with an ancillary small industrial warehouse and contractors yard are proposed with a private driveway entrance to Woodbine Avenue. These Phase 2 lands are subject of this planning justification report and planning applications submission to the Town.

Planning applications for Official Plan Amendment (OPA), Zoning By-law Amendment (ZBA) and Site Plan Approval (SPA) are submitted to the Town for this 4.02 ha Phase 2 subject site which are prepared to be consistent with the Town Pre-Applications Consultation letter of August 26, 2021.

The Phase 1 site fronting on Fortecon Drive was subject of Town approved applications OPA22.007 and ZBA22.001 that received Council decisions on December 13, 2022 and a zoning by-law amendment was adopted to rezone the entire Phase 1 site to “EH-Employment Heavy” zone, now in effect. The SPA22.001 application process for Phase 1 is in its final stages of process with the Town with anticipated site plan agreement execution with site construction to follow.

For the Phase 2 site, Limen proposes a two storey office building (Building 2A) of GFA for 120 employees, parking spaces, stormwater management pond and landscaping. Proposed landscape areas total over 50% of the 1.57ha site area. Various forms of plantings treatments are shown on the Site Plan (**Figure 3**) and the Landscape Plan (**Figure 4**). The second 2 storey office building, Building 2B, with contractor yard and warehouse building is being planned as a future “expansion” use. Site plan approval (SPA) for the Building 2A site of 1.57ha is being applied for at this time, whereas the SPA application for the 2.45ha Building 2B site is to be applied for in the future.

Each of the buildings will be serviced by an individual drilled well and septic tank and tile bed as shown on **Figure 4**. A Water Supply Evaluation report dated February 2023 by Gaman Consultants identifies that there is a reasonable degree of confidence that a drilled well can provide enough water of suitable quality to support the development of each of the two sites.

The Phase 2 OPA, ZBA and SPA applications are for lands described municipally as the western part of Block 19 of Registered Plan 65M-2571, being within part of Lot 20, Concession 4, and lying east of 15123 Woodbine Avenue, being the frontage and vehicular access for these Phase 2 subject lands.

Limen is a full-service construction firm that provides services to public and private clients across Canada. The proposed contractors yard and 97,000 sq. ft. warehouse site fronting on Fortecon Drive is the first stage/Phase 1 of the Limen new facility to commence construction. The Limen Building 2A is proposed on the 1.57 ha site fronting on Woodbine Avenue and is contemplated to start construction in Fall 2023, being subject of this current applications submission requiring an expedited approvals timeline.

The Phase 2 site is designated “Potential Mixed-Use Area” and “Potential Heavy Employment” in the Vandorf-Preston Lake Secondary Plan last approved by the Region of York as OPA 120 in 2010. The two proposed office buildings in Phase 2 are permitted uses by the “Potential Mixed-Use Area” policies. An Amendment to the Town Official Plan is required to permit the proposed Phase 2 contractors yard in the eastern 0.48 ha of the “Potential Mixed-Use” designation of Schedule “G” of the Vandorf-Preston Lake Secondary Plan. The majority of this smaller contractors yard is proposed in the “Potential Employment Area” designation as shown on Figure 3B.

The ZBA application proposes to rezone the Phase 2 lands from “D-Development Reserve” to “EH-Employment Heavy”. The present “D-Development Reserve” zone of the Zoning By-law 2010 anticipates employment development in accordance with the Secondary Plan policies. There are no “ENV-Environmental” zones or land use designations in the Secondary Plan applying to the Phase 2 site.

A Site Plan for the Phase 2 lands (**Figure 3**), with building elevation drawings and floor plans, together with supportive technical studies/materials from the Limen consultant team support the planning applications submission. Two applications for consent (severance) are being submitted to the Town Committee of Adjustment following the rezoning application approval in order to create the two new lots 2A and 2B lots shown on **Figure 3B**.

2.0 EXISTING LAND USE

The 4.02 ha Phase 2 subject site is square in shape except for the exclusion of a 0.50 ha commercial garage property cut-out in the northwest corner fronting on Woodbine Avenue. This Phase 2 site is vacant of buildings or structures and fronts onto Woodbine Avenue.

The Phase 2 site is bounded on the north by two industrial properties adjacent to Woodbine Avenue and Aurora Road, with two other properties with open storage uses fronting on Aurora Road. Abutting to the east of the subject lands is the Phase 1 SCAL site accessing to Fortecon Drive. To the northeast is a large contractor yard use fronting along Ram Forest Road and Aurora Road. Further east and south along Ram Forest Road is an established industrial area, with open storage uses serviced by private well and septic system for each lot.

To the south of the subject site is a 21± ha property in the planning stage for multi-lot industrial development and “Mixed Use” subdivision development with an internal proposed public road system with road-intersection onto Woodbine Avenue south of the subject lands and connecting through to Ram Forest Road.

West of Woodbine Avenue are seven older small residential/non-residential properties opposite the Phase 2 lands each having individual access driveways.

There are residential subdivision areas at Wesley Corners to the northwest, and at Vandorf, about 700m to the south. A Noise and Vibration Report by Jade Acoustics has confirmed there should be no impacts on these receptors from the proposed uses.

3.0 SITE SERVICING

The proposed two office buildings and the warehouse/small contractor yard are to be serviced by an individual on-site drilled well for each of Building 2A and Building 2B as addressed in a Water Supply Evaluation report. The water taking is considered minor and unlikely to cause disruptions to neighbouring water supplies being sourced from a 250± foot deep aquifer. It is proposed to provide a drilled well on each of the sites once the site planning detail has been peer-reviewed by the Town.

An individual private sewage system and dispersal bed is proposed along the eastern part of the Building 2A and Building 2B sites as set out in the Sewage System Design dated March 2023 by Gunnell Engineering. A population of 120 and 95 persons/day is used for the design occupancy of the Building 2A and Building 2B including the warehouse, respectively. Refer to the Figure 3 plans.

A grading plan with storm drainage system, private SWM pond and infiltration area are shown on the Site Plan (**Figure 3**) and in the technical FSSWM report/plans by Schaeffers, dated March 2023 as included in this submission.

4.0 ENVIRONMENTAL CONSIDERATIONS

The Phase 2 4.02 ha site has a poorly drained area of approximately 0.78 ha extending from the south to the north limits behind the commercial garage property that drains to the north through a neighbouring adjacent man-made pond area. This 0.78 ha is a previously altered wetland and former agricultural fields, where surface drainage is impacted by a plugged Region relief culvert under Woodbine Avenue. There are no “ENV-Environmental” zones, “Significant Environmental Area” or wetland designations delineated by the Town Official Plan and Zoning By-law maps, in effect, for the Phase 2 lands or adjacent property to the north.

Pre-applications comments were provided by the Lake Simcoe Region Conservation Authority (LSRCA) as contained in the Town PAC letter dated August 26, 2021 identifying an LSRCA Regulated Area on the Phase 2 site. An unevaluated wetland is also shown on the LSRCA feature map of the Phase 2 site. This wetland has been evaluated by RiverStone Environmental Solutions in its Phase 2 Natural Heritage Evaluation as not qualifying as a Provincially Significant Wetland (PSW) using 2022 Provincial Wetland qualifying criteria (OWES).

The Town PAC letter lists the following required technical support studies applicable to the Phase 2 planning applications which have been prepared and are submitted with the applications package of May 2023 to the Town consisting of:

- draft Town Zoning By-law Amendment (Alcorn)
- draft Town Official Plan Amendment (Alcorn)
- Planning Justification Report (Alcorn)
- Site Plan, floorplans, building elevations OBC Matrix (KNYMH)
- Hydrogeological Analysis/Water Balance (Gaman)
- Water Supply Evaluation (Gaman)
- MECP D-5-4 Report (Gaman)
- Phosphorus Budget (Schaeffers)
- FSSWM Report (Schaeffers)
- Grading and Servicing Plan (Schaeffers)
- Erosion and Sediment Control Plan (Schaeffers)
- Geotechnical/Soils Report (Soil-Engineers)
- Natural Heritage Evaluation (RiverStone Environmental Solutions)
- Environmental Acoustical Noise and Vibration Report (Jade Acoustics)
- Lighting/Illumination/Photometric Plan (e-Lumens)
- Stage 4 Archaeological Reports (Archeoworks Inc.,)

During summer 2021 preparation of the Phase 2 site for archaeology field work, the landowner/operator removed scattered field trees and trees in the perimeter of a poorly drained former agricultural crop lands east of the commercial garage property extending southerly to the south property limit. As well, a small 0.12 ha of a soft maple woodlot in the southeast corner of Phase 2 was removed around the former homestead, barn yard and barn foundation. The Phase 2 farm fields were last plowed in about 1995 for crops and/or sod and since then has remained fallow according to a farmer familiar with the property. The LSRCA features map identifies a “MNRF identified wetland” in this Phase 2. This altered wetland loss of natural heritage features has been addressed by the RiverStone Natural Heritage Evaluation.

5.0 PLANNING CONSIDERATIONS

1. The Phase 2 subject lands are within the Vandorf-Preston Lake Secondary Plan area, being under Official Plan Amendment 120 to the Town Official Plan. This Secondary Plan establishes a planned community for growth that includes an

employment area within which the subject lands are situated. Development policies approved in 2010 by the Region of York apply to these Phase 2 lands pursuant to the Provincial Policy Statement, the Growth Plan, the Greenbelt Plan, and the York Region Official Plan 2022.

2. Schedule “G”, the land use and transportation plan, of the Secondary Plan designates the subject land as “Potential Mixed-Use Area” and “Potential Employment Area”. The Town Zoning By-law zones the subject land as “D-Development Reserve” in anticipation of development and growth. A zoning by-law amendment application has been submitted to rezone the subject Phase 2 site to “EBP-Employment Business Park” and “EH-Employment Heavy”.
3. There are no ENV-Environmental zones or environmental designated areas in the Town and Zoning By-law and Official Plan, respectively, on the subject Phase 2 lands.
4. The York Region Policy 3.4.5 establishes a prohibition on development of a wetland that is not a Provincially Significant Wetland (PSW) unless:
 - i. “the use is permitted by the Plan and the applicable Provincial Plan”. The proposed uses are permitted by the Region, Town and Provincial Plans, and,
 - ii. “it is demonstrated through an environmental impact study that development/site alteration will not result in a negative impact on the natural features or is ecological functions”. The Natural Heritage Evaluation concludes as the wetland features have been removed in 2021, and the retroactive assessment of the former wetland does not constitute a PSW and does not allow the replacement possibility and monetary offsetting pursuant to LSRCA guideline 8.5 is recommended by the NHE. Perhaps relief from Regional policy 3.4.8 is necessary, to be confirmed with the Region, as to need for a ROPA. The NHE concludes “the proposed development can be accomplished without further negative impacts to the functions of the key natural heritage features located on the adjacent lands to the north.”

6.0 PLANNING POLICY

6.1 Town of Whitchurch-Stouffville Official Plan

1. The subject lands are designated “Potential Mixed-Use Area” and “Potential Employment Area” in the Vandorf-Preston Lake Secondary Plan as shown on Schedule “G”, the land use and transportation plan. The Secondary Plan is subject of Official Plan Amendment 120 approved by the Region of York in April 2010.

2. The “Potential Mixed-Use Area” designation and the permitted uses of Section 13.7.6.6 of the Vandorf-Preston Lake Secondary Plan permits the proposed office buildings on the subject lands, except an amendment to the Official Plan is requested as an exemption to permit a contractor yard use, warehouse and open storage in the east 0.48 ha of the “Potential Mixed-Use Area” designation. An opaque pre-cast concrete wall of 1.8m height is proposed between the office uses and the industrial use area as a screening element.
3. The “Potential Employment Area” designation and the permitted uses of Section 13.7.2.2 of the Vandorf-Preston Lake Secondary Plan permit the industrial warehouse and contractors yard uses.
4. Section 13.7.2.3 established the following criteria to be applied to the “Potential Employment Heavy Area”:

a) *be restricted to dry uses, until the completion of the servicing studies in Section 13.5.3.2,*

b) *require that open storage be screened,*

“Dry uses”: - the “Employment Heavy” use consisting of the small warehouse and contractors yard are considered dry uses as water use is for employee use only and no water is used for industrial production.

“Open storage”: - the contractors yard is to be screened by visual a 2.60 high pre-cast barrier fence along the east boundary of the 1.57 ha and 2.45 ha lots shown on the Site Plan (**Figure 4**) barriers/fence provides the required screening of the proposed industrial warehouse building.

5. Section 13.7.2.3ii Land Use Policies applies to the “Potential Employment Area” designation of the subject Phase 2 site respecting analysis of the potential for impact on the natural environment. The Natural Heritage Evaluation by RiverStone Environmental Solutions examines the wetland condition situated within the site that consists of 0.78 hectares in area representing about 19% of the 4.02 site area. The NHE concludes the proposed development of the site can be accomplished without further negative impacts to the functions of the key natural heritage feature and functions including adjacent lands to the north. It is noted that over 32% of the site development when completed is proposed as landscaped area which includes a 0.40 hectare SWM facility with permanent pool and plantings.
6. The subject lands are not within Oak Ridges Moraine Conservation Area designations shown on Schedule “G” (i.e. ORM Natural Core Area, ORM Natural Linkage Area or the ORM CountrySide Area) and are not subject to the ORM related land use policies.

7. There are no “Significant Environmental Area”, “lakes & watercourses” or other natural feature land use designations shown on Schedule “G” of the Town Secondary Plan (**Figure 2**) applying to the 4.02 ha subject lands.
8. Schedule “G”, the “Land Use and Transportation Plan” of the Secondary Plan as amended by OPA 160, shows a schematically “Potential Local Road” along the southern limit of the subject lands potentially connecting to a “Potential Local Road” shown within the adjacent property to the south.

Section 8.1 i) of the Town Official Plan states that these *potential* roads are *shown schematically* on Schedule “G” and Section 5.2.2.1 states “their alignments are approximate and may be modified without amendment to this Plan”. SCAL does not require, or propose, a new municipal local road on its Phase 2 land as it is not needed or required for access as reviewed in the Transportation Study report of March 2023 by the BA Group. Refer also to the Site Plan (**Figure 3**).

9. Section 13.8.2.5 of the Town Official Plan Transportation Strategy establishes the following policies respecting intent or purpose of local roads:
 - i.) *Local roads are designed to provide access to the individual properties and to discourage through traffic. Such roads are under the jurisdiction of the Town. A private driveway is proposed to provide vehicular access to and from the Phase 2 development to the proposed intersection and left turn lane improvements to Woodbine Avenue.*
 - ii.) *The design and alignment requirements for any new local roads shall generally be determined through the approval process for a plan of subdivision. No plan of subdivision is proposed for Phase 2.*
 - iii.) *Pedestrian and cycling facilities will be considered on all local roads where appropriate. Woodbine Avenue will provide opportunity for future pedestrian and cycling facilities off-site.*

For further clarity, a “potential” local road is not proposed through the Phase 2 subject lands, however, proposed single access driveway is proposed centrally along the Woodbine Avenue frontage to service each of the 2A Building and 2B Buildings lots as reviewed in the Transportation Study. This access option was discussed with Region of York transportation staff and is designed to satisfy Region standards.

It is requested that the Town make a decision to remove the “potential local road” on the subject lands as requested by the landowner (OPA22.007).

6.2 Town of Whitchurch-Stouffville Zoning By-law

The subject Zoning By-law Amendment application submitted to the Town requests a rezoning of the Phase 2 subject site from “D-Development Reserve” to “EBP-Employment Business Park” and “EH-Employment Heavy” zone. A draft Zoning By-law Amendment is shown in Appendix “B”.

6.3 Region of York Official Plan

1. The subject lands are within a “Hamlet” designation shown on Map 1A Land Use Designation of the Region of York Official Plan (2022) (**Figure 5**), being within the Greenbelt Plan (2017) that permits commercial offices and industrial development within Town Secondary Plan subject to the ability to service the proposed uses by individual private on-site water supply and wastewater system as set out in Policy 5.4.4.
2. Map 4 of the Region Plan delineates a “Provincially Significant and Provincial Plan Area Wetlands” within the Phase 2 subject lands that is approximately 0.7 ha in area. Region Plan Policy 3.4.5 prohibits development within a wetland, unless it is demonstrated that the development use is permitted by the Plan through an environmental impact study (EIS) that the development “*will not result in a negative impact on a natural feature or its ecological functions*”.

The Phase 2 Natural Heritage Evaluation (NHE) by RiverStone Environmental Solutions dated May 2023 has evaluated this feature using Provincial OWES criteria which concludes that the “wetland” feature is not a PSW (Provincially Significant Wetland). Policy 3.4.5 is satisfied as the proposed land uses are permitted by the local Official Plan, the Greenbelt Plan, the Region Plan Policy 3.4.8 and it is demonstrated by the Natural Heritage Evaluation that the site alteration will not result in further negative impact on the natural features or its ecological functions.

3. Region Policy 3.4.7 requires that a wetland hydrologic feature or a woodland key natural feature on the subject lands shall be precisely delineated using procedures established by Provincial criteria and supporting technical studies and shall accompany planning applications. Where such precise delineation refines boundaries shown on the Maps of the Region Plan, this refinement acceptance can occur without amendment to the Region Plan. Pursuant to Policy 3.4.5 and 3.4.7, a Natural Heritage Evaluation (NHE) has been prepared to apply Provincial criteria to evaluation of the Map 4 delineated “wetland” and the Map 5 delineated “woodland” each situated on the Phase 2 together with determination of any negative impact on natural features or ecological functions.

The Phase 2 NHE by RiverStone Environmental Solutions has used the Ministry of Natural Resources Ontario Wetlands Evaluation System criteria, December 2022 that demonstrates there is no Provincially Significant Wetland (PSW) that would require a 30m Vegetation Protection Zone. A 10m vegetative protection area is delineated on the proposed Site Plan along the north boundary within the SWM pond area to buffer the open wetland condition on the adjacent land to the north. This 10m area is to be planted with trees, shrubs and pollinator field grass mixes as shown on the Landscape Plan (**Figure 4**).

4. Map 5 of the Region Plan delineates a “woodland” within the southeast corner of the Phase 2 subject lands. The Phase 2 NHE has evaluated this 0.14 ha woodland from an aerial photograph as the woodland was removed in 2021 when the house, derelict grounds and former barn foundation were cleaned up.

The NHE has used the Ministry of Natural Resources woodland evaluation criteria applicable to these subject lands situated in the Protected Countryside of the Greenbelt Plan (2017). The Greenbelt Plan allows the pre-existing “Hamlet” designations and Official Plan/Secondary Plan policies and development rights prevail pursuant to the applicable “Potential Employment Area” policies for the lands, approved by York Region in 2010. The Town Official Plan/Secondary Plan (OPA120) was adopted in 2009 without “woodland” or “wetland” designations or policies to guide significant woodland and wetland preservation. The NHE evaluation concludes that the 0.14 ha woodland does not meet the minimum 0.50 ha area to qualify as a “significant” woodland for preservation.

5. Policy 5.4.8 of the new Region Plan 2022 states for development in Hamlets:

“That notwithstanding policy 5.4.3, additional growth and *development* in *Hamlets* may be permitted in existing *secondary plans* with an appropriate water and wastewater solution in conformity with Provincial plans, approved and in effect the date this Plan came into effect”.

A Sewage System Design has been prepared by Gunnell Engineering confirming the appropriate private wastewater treatment system for each of the proposed two office buildings and uses. The 9900 L/d system is approvable by the Town pursuant to the Ontario Building Code. A Water Supply Evaluation report has been prepared by Gaman Consultants confirming the feasibility of a drilled well water supply for each of the two office buildings, including the small warehouse.

6.4 Provincial Policy Statement (2020)

1. The Provincial Policy Statement 2020 (PPS) **Section 1.1.3.1** states that:
“Settlement areas shall be the focus of growth and development”.

Section 1.1.3.2 states that:

Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

1. *efficiently use land and resources;*
2. *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for the unjustified and/or uneconomical expansion;*
3. *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
4. *prepare for impacts of a changing climate;*
5. *support active transportation;*
6. *transit-supportive, where transit is planned, exists or may be developed; and,*
7. *are freight supportive?*

Response:

My opinion is that the proposed development is consistent with above-referenced Sections 1.1.3.1, 1.1.3.2 and 1.1.3.3 of the PPS for the following reasons:

- the development is within a designated settlement area (Hamlet) within the Town of Whitchurch-Stouffville, Vandorf-Preston Lake Secondary Plan where growth is to be focused and promoted pursuant to the Provincial Growth Plan for the Greater Golden Horseshoe and as designated by the Greenbelt
- the development is within the Hamlet designation of the Region Plan
- the proposed development has been efficiently designed with stormwater infrastructure and landscaped areas
- the development is in conformity with the Town Official Plan/Secondary Plan, in effect since 2010, where the efficient use of the Phase 2 developable land is utilized for employment growth and use of existing public road *infrastructure* without the need for unjustified expansion of municipal services or roads

- the proposed development is within a settlement area where efficiency and conservation of energy resources are optimized and negative impacts of air quality and climate change are reducible by construction of energy efficient systems, provision of extensive green landscape elements, stormwater management systems, planting of street trees, drainage flow conveyance and naturalizing plantings improvements as shown on the site plans (**Figure 3**)
- utilization and support of nearby GO bus/train transportation services at Aurora Road/Provincial Highway 404 and in Stouffville is possible

In my opinion, the applications for Official Plan Amendment, Zoning By-law Amendment and Site Plan Approval are consistent with the policies section noted above of the Provincial Policy Statement.

2. The Provincial Policy Statement 2020 (PPS) **Section 1.3.2.1** states that:

Planning authorities shall plan for, protect and preserve “employment areas” for current and future uses and ensure that necessary “infrastructure” is provided to support current and projected needs.

Response:

My opinion is that the proposed development is consistent with the above PPS Section 1.3.2.1 as the proposed development implements the employment objectives of the PPS, Region Plan and Town Official Plan on private water supply and sewage wastewater systems pursuant to applicable policies and requirements.

Planning authorities shall plan for, protect and preserve “employment areas” for current and future uses and ensure that necessary “infrastructure” is provided to support current and projected needs.

Response:

My opinion is that the proposed development is consistent with the above PPS Section 1.3.2.1 as the proposed development implements the employment objectives of the PPS, the Region Plan and the Town Official Plan. The private water supply and sewage wastewater systems are to be provided pursuant to applicable the Town servicing policies and requirements.

3. The Provincial Policy Statement 2020 (PPS) **Section 2.1** states that:

2.1 Natural Heritage

- 2.1.1 Natural features and areas shall be protected for the long term.
- 2.1.2 The diversity and connectivity of natural features in an area, and the long-term *ecological function* and biodiversity of *natural heritage systems*, should be maintained, restored or, where possible, improved,

recognizing linkages between and among *natural heritage features and areas, surface water features and ground water features.*

2.1.3 *Natural heritage systems* shall be identified in Ecoregions 6E & 7E¹, recognizing that *natural heritage systems* will vary in size and form in *settlement areas, rural areas, and prime agricultural areas.*

2.1.4 *Development and site alteration* shall not be permitted in:

- a. *significant wetlands* in Ecoregions 5E, 6E and 7E¹; and
- b. *significant coastal wetlands*

2.1.5 *Development and site alteration* shall not be permitted in:

- a. *significant wetlands* in the Canadian Shield and north of Ecoregions 5E, 6E and 7E¹;
- b. *significant woodlands* in Ecoregions 6E and 7E¹ (excluding island in Lake Huron and the St. Marys River)¹;
- c. *significant valleylands* in Ecoregions 6E and 7E¹ (excluding island in Lake Huron and the St. Marys River)¹;
- d. *significant wildlife habitat*
- e. *significant areas of natural and scientific interest*; and
- f. *coastal wetlands* in Ecoregions 5E, 6E and 7E¹ that are not subject to policy 2.1.4(b)

unless it has been demonstrated that there will be no *negative impacts* on the natural features or their *ecological functions*

Response:

The PPS Section 2.1.4 and 2.1.5 states development and site alteration shall not be permitted in a *significant wetlands* or in a *significant woodlands* in 6E and 7E Ecoregion containing the subject lands, unless it has been demonstrated that there will be no *negative impacts* on the natural features or their ecological functions.

The PPS definitions of the relevant italicized key words of the above Section 2.1.4 and 2.1.5 are:

“Significant” means:

- a) in regards to *wetlands, coastal wetlands and areas of natural and scientific interest*, and area identified as provincially significant by the Ontario Ministry of Natural Resources and Forestry using evaluation procedures established by the Province, as amended from time to time;
- b) in regard to *woodland*, an area which is ecologically important in terms of features such as species composition, age of trees and stand history; functionally important due to its contribution to the broader landscape

because of its location, size or due to the amount of forest cover in the planning area; or economically important due to site quality, species composition or past management history. These are to be identified using criteria established by the Ontario Ministry of Natural Resources and Forestry.

“Negative impacts” means:

- c) in regard to *fish habitat*, any permanent alteration to, or destruction of *fish habitat*, except where, in conjunction with the appropriate authorities, it has been authorized under the *Fisheries Act*; and
- d) in regard to other *natural heritage features and areas*, degradation that threatens the health and integrity of the natural features of *ecological functions* for which an area is identified due to single, multiple or successive *development* or *site alteration* activities.

Response:

- i.) Respecting Section 2.1.4, the Natural Heritage Evaluation has concluded the Phase 2 subject lands do not contain “significant wetlands” by using Ontario Ministry of Natural Resources and Forestry evaluation procedures of December 2022. The PPS does not prohibit development on Phase 2 as there are no significant wetlands.
- ii.) Respecting Section 2.1.5, the Natural Heritage Evaluation has concluded the Phase 2 subject lands do not contain a “significant woodlands” by using Ontario Ministry of Natural Resources and Forestry evaluation procedures which do not meet the minimum size of 0.50 ha as a qualification of significance. The PPS does not prohibit development on the Phase 2 as there are no significant woodlands.
- iii.) Respecting Section 2.1.6, the Natural Heritage Evaluation has determined there is no *fish habitat* on the Phase 2 subject lands.

In my opinion the above demonstration of the non-presence of significant wetlands and woodlands on the Phase 2 subject lands provides consistency with the PPS. There is conformity with the LSRCA Regulation Area Guidelines respecting development within a wetland feature in accordance with LSRCA permissions for development within a wetland, or altered wetland in this case, under the Guideline 8.5 Ecological Off-Setting monetary compensation provision. LSRCA Chapter 8, Guideline 8.3.3 “may grant approval for development within a wetland, provided that:”

- *the wetland is not a PSW.* Which is confirmed by the NHE.
- *there is a demonstrated need, and no reasonable alternative location exists outside the wetland,* which is the case as Limen’s proposed headquarter office

2A is to be located adjacent to its Phase 1 warehouse yard facility of 8.45 ha to the east.

- *the control of flood, erosion, pollution or the conservation of land will not be affected.* Which is the case as there is no floodplain, no erosion with ESC plans, no pollution potential and the conservation of land is offset by recommended compensation of the NHE and,
- *a mitigation plan is to be prepared,* as recommended by the NHE to compensate for the loss of the wetland feature and functions as per the LSRCA Ecological Offsetting Policy, July 2021.

As to Section 2.1.7, the Natural Heritage Evaluation has demonstrated that there will be no further negative impacts of the proposed development on existing significant natural features or their ecological functions on the lands or adjacent lands down-gradient. There is no fish habitat or endangered species or threatened species habitat on the Phase 2 lands according to the NHE.

As to Section 2.1.8, the Natural Heritage Evaluation has generally evaluated the adjacent lands to the north, and confirms there will be no further *negative impacts* on its natural features and their *ecological functions* from the proposed development. A 10m buffer planting area is proposed along the northern property boundary of the proposed SWM pond of the subject lands to provide protection to the adjacent lands to the north. This SWM pond with a slow release Hickenbottom flow regulator is to maintain pre-development flow rates. The SWM filter bed and stormseceptors are to maintain pre-development surface water quality and provide improvements.

6.5 Growth Plan for the Greater Golden Horseshoe (2017)

1. Section 2.2.6, 2. and 9. Employment Lands states:
“Municipalities will promote economic development ... by planning for, protecting and preserving employment areas for current and future uses.”

Response:

OPA 120 of the Town of Whitchurch-Stouffville Official Plan/Vandorf-Preston Lake Secondary Plan promotes economic development and preserves employment opportunity in the economic growth area.

2. *“Municipalities are encouraged to designate lands within settlement area in the vicinity of existing major highway interchanges for ...warehousing ... and ancillary facilities”.*

Response:

The “hamlet”, and designated employment lands, within which the subject lands are situated, are in the vicinity of Aurora Road and Highway 404 interchange.

3. Section 3.2.5 Water and Wastewater Systems states:
“For lands within the Greenbelt Area, all policies regarding water and wastewater systems or stormwater set out in provincial plans, applicable to lands within the Greenbelt Area, continue to apply”.

Response:

Section 3.4.3.2 of The Greenbelt Plan (2005) allows infill and intensification within Official Plan designated Hamlets subject to appropriate water and sewage services and stormwater services. These services include provision for a private drilled well and septic system based on the technical support studies.

6.6 Greenbelt Plan (2017)

The subject lands are within the “Hamlet” designation in the “Protected CountrySide” of the Greenbelt Plan. Section 3.4.3 of the Plan that states:

1. *Hamlets, as identified in municipal official plans and within their approved boundaries as they existed on the date this Plan came into effect, continue to be governed by municipal official plans and related programs of initiatives and are not subject to the policies of this Plan, save for the external connections policies of section 3.2.5. This Plan permits infill and intensification of Hamlets subject to appropriate water and sewage services.*

The Town’s Vandorf-Preston Lake Secondary Plan, was adopted by Town Council in July 2009 and approved in April 2010 by York Region. The Secondary Plan was in effect in 2017 when the Greenbelt Plan came into effect. The Secondary Plan (2010), governs development applications and prevails over the development policies of the Provincial Greenbelt Plan. Respecting Section 3.2.5, there are no Natural Heritage System features within the Phase 2 subject lands or the adjacent lands to the north that are designated by the Town’s Secondary Plan. A Natural Heritage Evaluation, dated May 2023 prepared by RiverStone Environmental Solutions, has demonstrated there are no significant wetlands or woodlands present on the subject lands and that there are no negative impacts from the proposed development on natural features on the subject lands or the adjacent down-gradient lands.

The Greenbelt Plan permits infill and intensification development of Hamlets subject to appropriate water and sewage services. The proposed development conforms to the Town Secondary Plan policies of the “Potential Mixed-Use Area” and “Potential Employment Area” designations that permits the proposed development on private individual drilled well and septic tile bed sewage system which are supported by technical studies submitted with planning applications.

Response:

In my opinion, the applications for a Town official plan amendment, zoning by-law amendment and site plan approvals and future severance/consent applications that propose employment type development conforms with the Greenbelt Plan policies.

7.0 CONCLUSIONS

- 7.1 The submitted applications for Town Official Plan Amendment, Zoning By-law Amendment and Site Plan approval for the Phase 2 subject lands are consistent with the Provincial Policy Statement and conform to the Provincial Plans, the Region Plan and the land use plan and development policies of the Town's Vandorf-Preston Lake Secondary Plan (OPA 120) approved by the Region in 2010. This project is ready-to-go to provide immediate development and jobs within the 'Hamlet' area.
- 7.2 The deletion of the remainder of potential local road on the subject lands should be included in the requested site-specific draft Official Plan Amendment. A central access driveway is proposed to service the subject lands to and from Woodbine Avenue, with improvements to Woodbine Avenue as reviewed with York Region, as shown on the proposed Site Plan (**Figure 3**) and in the traffic impact analysis. The existing driveway access is to be removed upon opening of the proposed replacement new driveway. Woodbine Avenue and the Aurora Road signalized intersection and road system has capacity as addressed in the traffic impact analysis.
- 7.3 The proposed site plan has been designed to satisfy the general and site-specific policies of Town OPA 120 which are supported by the consultants' technical studies.
- 7.4 The proposed development implements Provincial and Regional employment policy and utilization of existing infrastructure, without need for new roads and services.
- 7.5 The proposed site servicing on a private individual drilled well, sewage septic system and stormwater management system is pursuant to the servicing policies of the Town requirements and standards, and the supporting technical studies.
- 7.6 The approval of the requested Official Plan Amendment, Zoning By-Law Amendment and Site Plan applications and future severance/consent applications, creating two new employment lots, is appropriate and represents good planning within this Hamlet area.
- 7.7 It is recommended that there be a consultation meeting with the Region of York to address the interpretation of Region Plan policies in the context of the subject planning application to confirm conformity and need for a ROPA, or not,

- 7.8 It is recommended that there be a consultation meeting with LSCA as soon as possible to review the Regulation Area Permit and Ecological Offsetting Policy guidelines as to implementation of a mitigation plan to acceptable compensation.

Respectfully submitted
ALCORN & ASSOCIATES LIMITED

A handwritten signature in black ink, appearing to read 'Randy Alcorn', followed by a period.

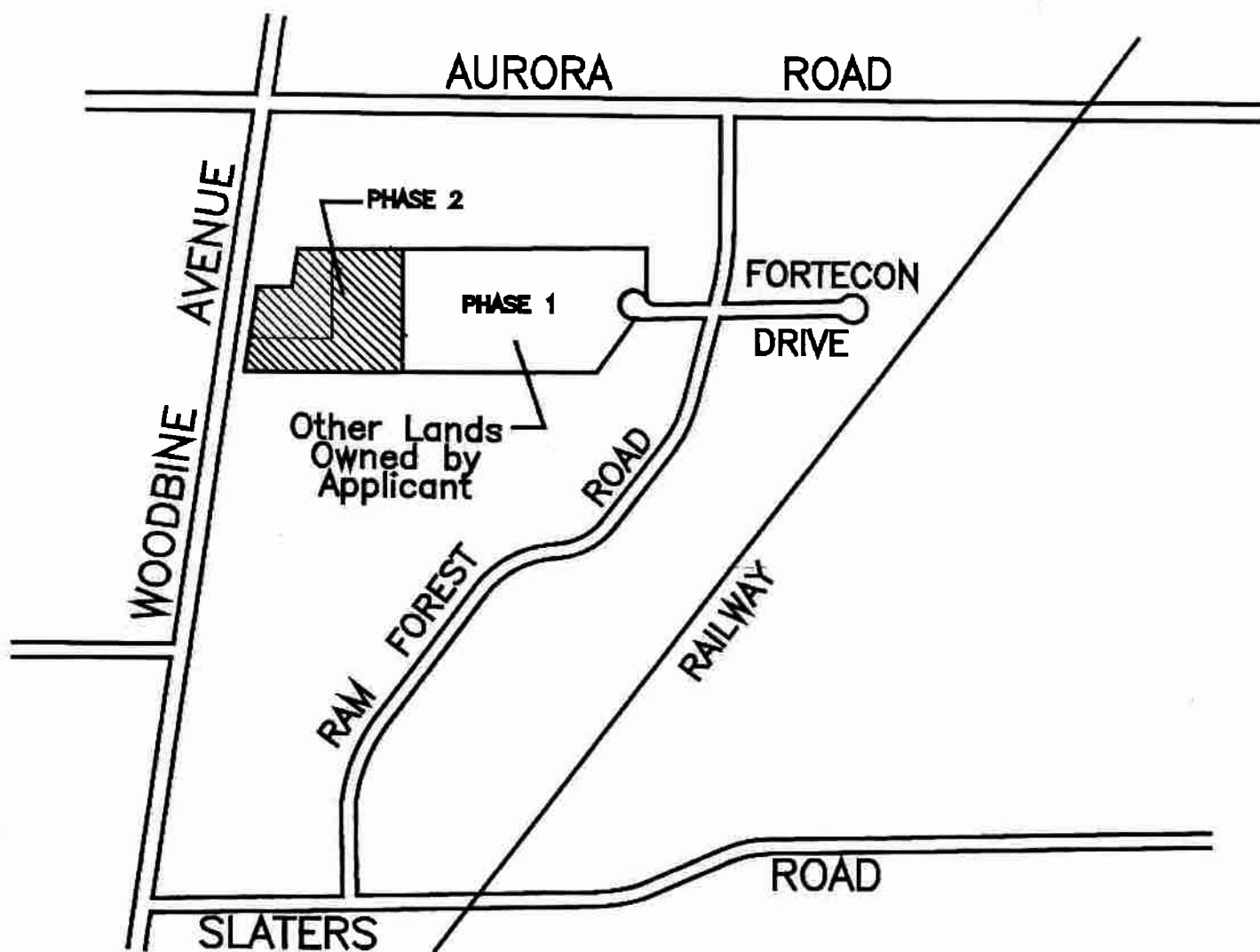
Randy Alcorn
President

RA/sc

List of Figures

- Figure 1 - Location Plan
- Figure 2 - Vandorf-Preston Lake Secondary Plan, Schedule "G"
- Figure 3 - Site Plan, Floor Plans, Building Elevations and OBC Matrix
- Figure 3B - Site and Applications Plan
- Figure 4 - Landscape Plan
- Figure 5 - Region of York Map 1A
- Figure 6 - Zoning Map- Schedule 24

KEY MAP



Subject Lands of
Applications

FIGURE 1

Schedule "G"

Vandorf Preston Lake Secondary Plan
Oak Ridges Moraine Conservation Plan
Land Use and Transportation Plan

LEGEND

- ORM NATURAL CORE AREA
- ORM NATURAL LINKAGE AREA
- ORM COUNTRYSIDE AREA
- ORM EMPLOYMENT AREA
- ORM VANDORF RESIDENTIAL AREA
- ORM MIXED USE AREA
- ORM PARK AREA
- AGRICULTURAL AREA
- EMPLOYMENT AREA
- MIXED USE AREA
- SIGNIFICANT ENVIRONMENTAL AREA
- POTENTIAL EMPLOYMENT AREA
- POTENTIAL MIXED USE AREA
- EXISTING VANDORF RESIDENTIAL AREA
- POTENTIAL VANDORF RESIDENTIAL AREA
- POTENTIAL VANDORF MEDIUM DENSITY RESIDENTIAL AREA
- SECONDARY PLAN BOUNDARY
- OAK RIDGES MORaine CONSERVATION PLAN BOUNDARY
- SERVICING STUDY AREA
- THE COMMUNITY OF VANDORF
- LAKES & WATERCOURSES
- ARTERIAL ROAD
- MAJOR COLLECTOR ROAD
- MINOR COLLECTOR ROAD
- POTENTIAL LOCAL ROAD
- TRANSIT NODE
- POTENTIAL GO TRANSIT STATION



Office Consolidation January, 2023

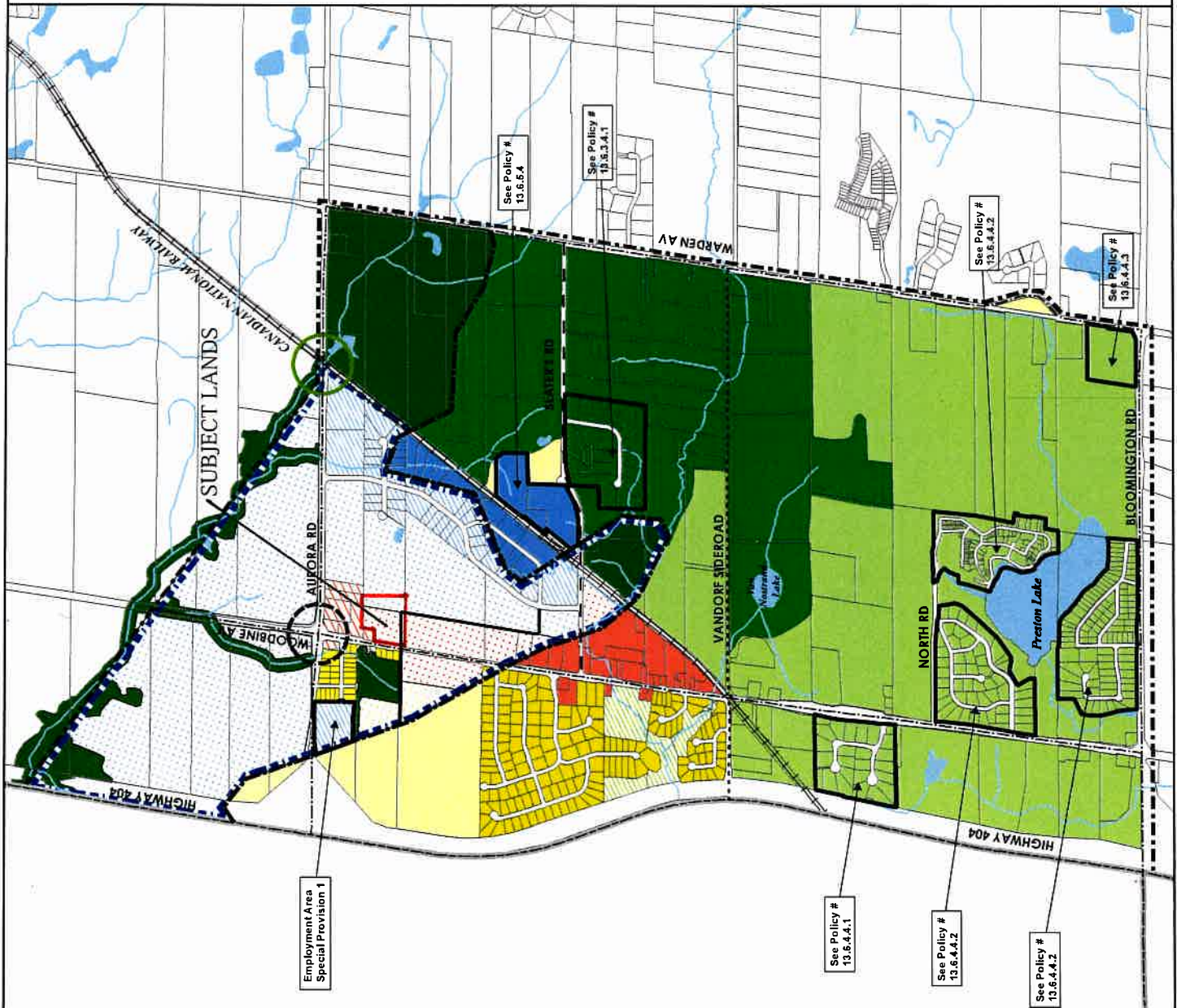
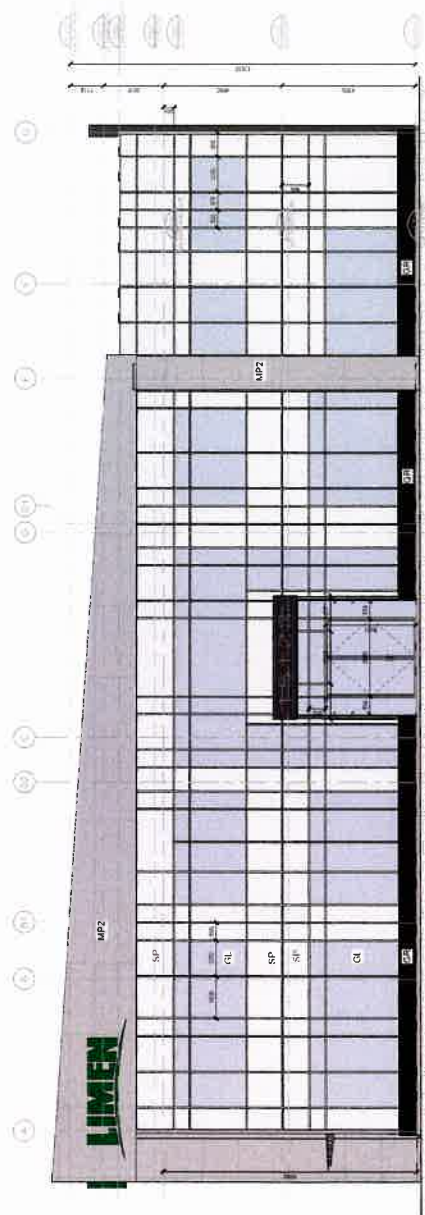


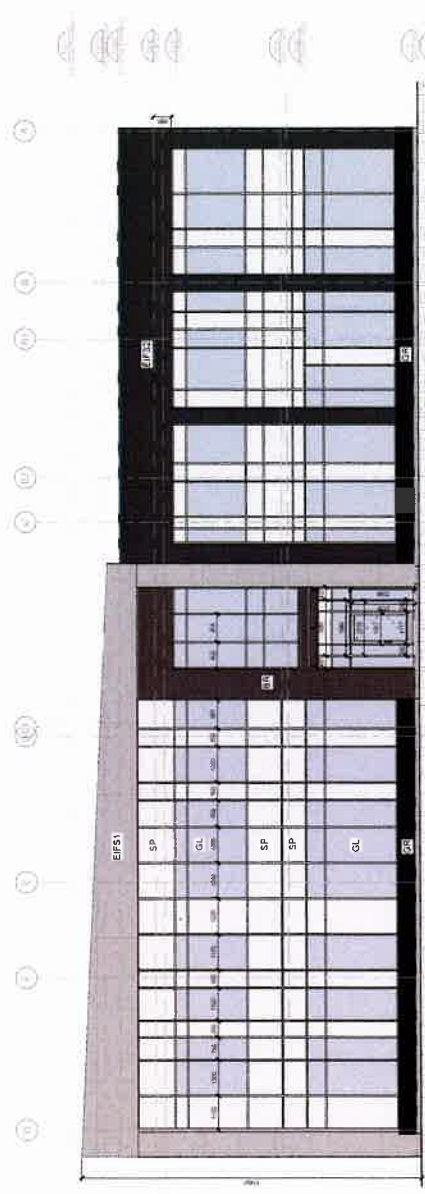
FIGURE 2

[illegible][illegible]

NOTES:
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. THE ELEVATIONS ARE TO BE CONSIDERED AS APPROXIMATE ONLY.
 3. THE ELEVATIONS ARE TO BE CONSIDERED AS APPROXIMATE ONLY.
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 9. THE ELEVATIONS ARE TO BE CONSIDERED AS APPROXIMATE ONLY.
 10. THE ELEVATIONS ARE TO BE CONSIDERED AS APPROXIMATE ONLY.



1 WEST ELEVATION



2 EAST ELEVATION

LEGEND

GL	GLASS CURTAIN WALL
SP	SPANDREL (FILL)
CL	CLADDING (FILL)
MP	MECHANICAL PENTHOUSE
GL	GLASS CURTAIN WALL
SP	SPANDREL (FILL)
CL	CLADDING (FILL)
MP	MECHANICAL PENTHOUSE
GL	GLASS CURTAIN WALL
SP	SPANDREL (FILL)
CL	CLADDING (FILL)
MP	MECHANICAL PENTHOUSE

ELEVATIONS

21054
A400

LIMEN HEAD OFFICE

1875 Woodbine Ave.
 Scarborough, Ontario



KNYMH
 ARCHITECTURE • 310-310-9192

PERMIT IS REQUIRED FOR CONSTRUCTION

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/10/2018
2	ISSUED FOR PERMIT	10/10/2018
3	ISSUED FOR PERMIT	10/10/2018
4	ISSUED FOR PERMIT	10/10/2018
5	ISSUED FOR PERMIT	10/10/2018
6	ISSUED FOR PERMIT	10/10/2018
7	ISSUED FOR PERMIT	10/10/2018
8	ISSUED FOR PERMIT	10/10/2018
9	ISSUED FOR PERMIT	10/10/2018
10	ISSUED FOR PERMIT	10/10/2018

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/10/2018
2	ISSUED FOR PERMIT	10/10/2018
3	ISSUED FOR PERMIT	10/10/2018
4	ISSUED FOR PERMIT	10/10/2018
5	ISSUED FOR PERMIT	10/10/2018
6	ISSUED FOR PERMIT	10/10/2018
7	ISSUED FOR PERMIT	10/10/2018
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10	ISSUED FOR PERMIT	10/10/2018

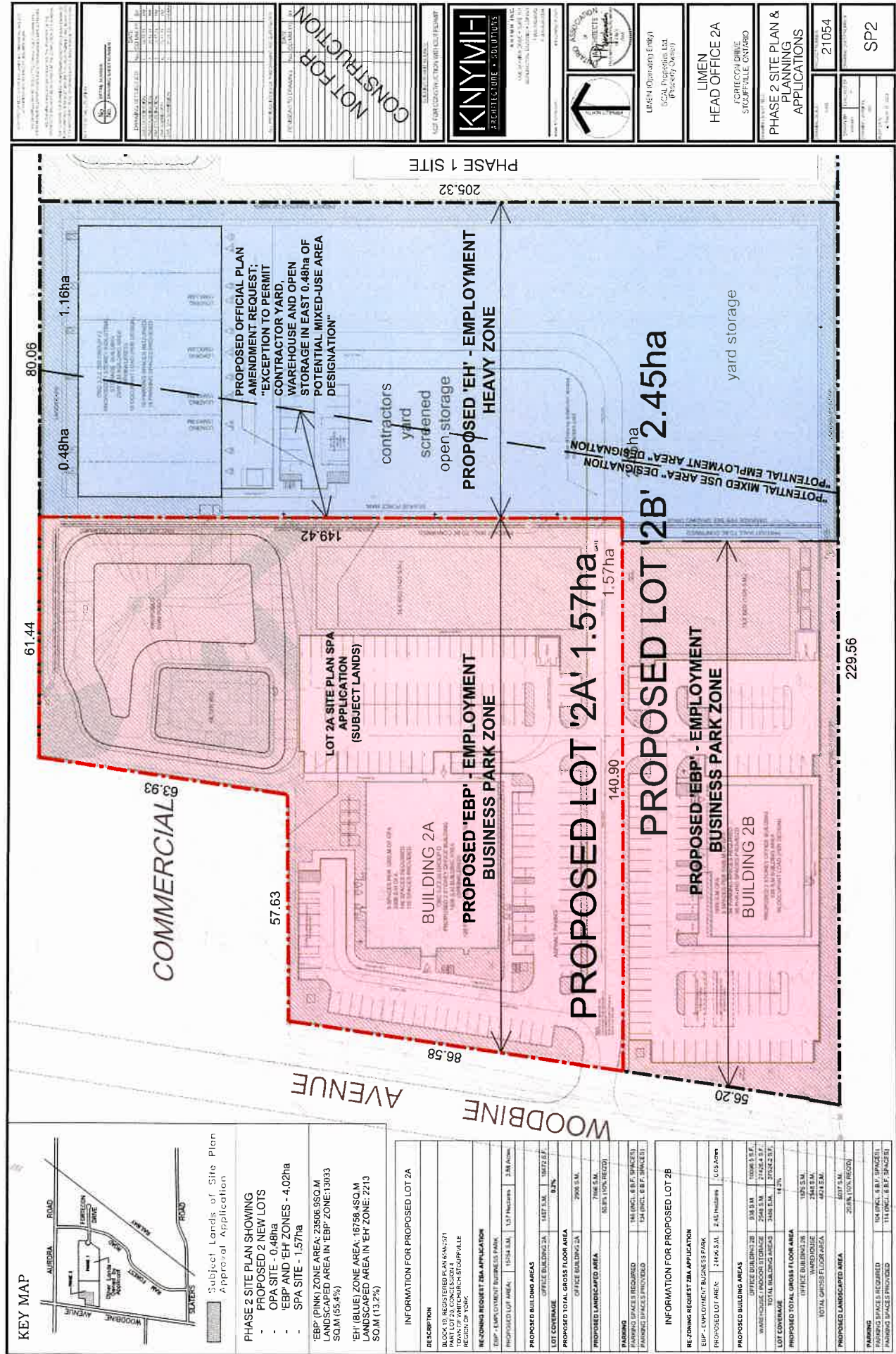


FIGURE 3B

SECTION A-A

NOTES:

1. USE THE LATEST VERSION OF THE TACTILE WARNING PLATE.
2. ALL DIMENSIONS ARE IN MILLIMETERS.
3. MATERIAL SHALL BE 100% RECYCLED POLYMER CONCRETE.
4. FINISH SHALL BE SMOOTH.
5. SEE STANDARD JOINT LOCATION OF TACTILE PLATE.

YORK REGION
Transportation Services
TACTILE WARNING PLATE

E-6.07

JOINT LAYOUT

CONCRETE SIDEWALK

NOTES:

1. Sidewalk shall be constructed of concrete and shall be 150mm thick.
2. Sidewalk shall be finished with a smooth finish.
3. JOINTS SHALL BE 300mm ON CENTER.
4. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

OPSD M310.010

Key	Botanical Name	Common Name	Cal.	Ht.	Spr.	Cond.	Remarks	Total
DECIDUOUS TREES								
Ac	Amenchler canadensis	Servoderry		200cm		BAB	Uniform Mullistem	11
Ar	Azer rubrum	Red Maple	60mm			W.B	Uniform Specimen	6
Cb	Gringobila	Madenbair Tree	60mm			W.B.	Uniform Specimen	4
Mo	Mellito Columnaris	Columnar Shrubin Crabapple	45mm			W.B.	Uniform Specimen	8
Pdb	Pyroc c. Bradford	Bradford Ornamental Pear	60mm			W.B.	Uniform Specimen	5
Sl	Syringa i. Ivory Silk	Ivory Silk Lilac		250cm		BAB	Mullistem Specimen	4
Sa	Salix x. Scarlet Curtis	Scarlet Curtis Willow	45mm			W.B.	Uniform Specimen	1
EVERGREEN TREES								
Pp	Pinus pungens	Colorado Spruce		175cm		BAB	Uniform Specimen	8
DECIDUOUS SHRUBS								
Gr	Cornus racemosa	Gray Dogwood		100cm		Polled	Plant 2m O.C.	8
Co	Cornus sericea	Red Osier Dogwood		60cm		Polled	Plant 1m O.C.	53
Sn	Symphoricarpos albus	Snowberry		60cm		Polled	Plant 1m O.C.	168
Pl	Salix discolor	Pussy Willow		60cm		Polled	Plant 2m O.C.	5
Sp	Spiraea j. Anthony Walster	Anthony Walster Spirea		60cm		Polled	Plant 80cm O.C.	104
Vi	Viburnum lentago	Nannyberry		100cm		Polled	Plant 2m O.C.	4
EVERGREEN SHRUBS								
Y	Taxus c. Nana	Dwarf Japanese Yew		60cm		Polled	Plant 1m O.C.	118
Lo	Thuja occidentalis	Northern White Cedar		125cm		Polled	Uniform Specimen	12
ORNAMENTAL GRASSES AND PERENNIALS								
Ca	Calamagrostis Xanthoformis	Feather Reed Grass				Cal. Pol.	Plant 60cm O.C.	105
AQUATICS - EMERGENT / SHALLOW WATER								
Ac	Acorus americanus	Sweet Flag				100m Pol.	Plant 20cm O.C.	40
Pe	Potamogeton cordata	Potamogeton				100m Pol.	Plant 20cm O.C.	35

SECTION A-A

NOTES:

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2. ALL DIMENSIONS ARE IN MILLIMETERS.
3. MATERIAL SHALL BE 100% RECYCLED POLYMER CONCRETE.
4. FINISH SHALL BE SMOOTH.
5. SEE STANDARD JOINT LOCATION OF TACTILE PLATE.

YORK REGION
Transportation Services
TACTILE WARNING PLATE

E-6.07

JOINT LAYOUT

CONCRETE SIDEWALK

NOTES:

1. Sidewalk shall be constructed of concrete and shall be 150mm thick.
2. Sidewalk shall be finished with a smooth finish.
3. JOINTS SHALL BE 300mm ON CENTER.
4. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

OPSD M310.010

Key	Botanical Name	Common Name	Cal.	Ht.	Spr.	Cond.	Remarks	Total
DECIDUOUS TREES								
Ac	Acer rubrum	Red Maple	60mm	200cm	BAB	Uniform Specimen	11	
Ar	Aster rubrum	Red Maple	60mm	200cm	W.B.	Uniform Specimen	6	
Cb	Cornus florida	Flowering Dogwood	60mm	200cm	W.B.	Uniform Specimen	4	
Mo	Morus nigra	Morus nigra	45mm	200cm	W.B.	Uniform Specimen	8	
Py	Pyrus c. bairdii	Baird's Pear	45mm	200cm	W.B.	Uniform Specimen	5	
Sl	Salix alba	White Willow	45mm	200cm	BAB	Uniform Specimen	4	
Sa	Salix x. caprea	Crab Willow	45mm	200cm	W.B.	Uniform Specimen	1	
EVERGREEN TREES								
Pi	Pinus strobus	White Pine	175cm	175cm	BAB	Uniform Specimen	8	
DECIDUOUS SHRUBS								
Gr	Gray dogwood	Gray Dogwood	100cm	100cm	Polled	Plant 2m O.C.	8	
Co	Cornus sericea	Red Osier Dogwood	60cm	60cm	Polled	Plant 1m O.C.	53	
Sn	Symphoricarpos albus	Snowberry	60cm	60cm	Polled	Plant 1m O.C.	168	
Pl	Prunella virginiana	Prunella	60cm	60cm	Polled	Plant 2m O.C.	5	
Sp	Spiraea x. argentea	Spiraea	60cm	60cm	Polled	Plant 2m O.C.	104	
Vi	Viburnum acerifolium	Nannyberry	100cm	100cm	Polled	Plant 2m O.C.	4	
EVERGREEN SHRUBS								
Y	Yucca x. filifera	Yucca	60cm	60cm	Polled	Plant 1m O.C.	118	
Lo	Lonicera x. maackii	Northern White Cedar	125cm	125cm	Polled	Uniform Specimen	12	
ORNAMENTAL GRASSES AND PERENNIALS								
Ca	Campanula x. medium	Feather Reed Grass	100cm	100cm	Cal. Pol.	Plant 60cm O.C.	105	
Ac	Azorella x. cordata	Sweet Flag	100cm	100cm	Polled	Plant 20cm O.C.	40	
Pe	Potamogeton x. cordata	Potamogeton	100cm	100cm	Polled	Plant 20cm O.C.	35	

1. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

2. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

3. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

4. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

5. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

6. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

7. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

8. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

9. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

10. The tree is a small tree, 10-15 ft. in height, with a rounded crown and a trunk 10-15 cm in diameter. The leaves are alternate, ovate, 5-10 cm long, and 3-5 cm wide. The flowers are small, white, and in clusters. The fruit is a small, round, red berry.

SECTION A-A

NOTES:

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2. ALL DIMENSIONS ARE IN MILLIMETERS.
3. MATERIAL SHALL BE 100% RECYCLED POLYMER CONCRETE.
4. FINISH SHALL BE SMOOTH.
5. SEE STANDARD JOINT LOCATION OF TACTILE PLATE.

YORK REGION
Transportation Services
TACTILE WARNING PLATE

E-6.07

ITEM No.	DESCRIPTION	UNIT	UNIT PRICE	EST. QTY.	TOTAL
1.0 SITE WORKS					
	SWMP headwalls, drains, spillways, other structures/servicing				Eng. Estimate
	ROUGH GRADING	l.s.			Eng. Estimate
	TOPSOIL STRIPPING & STOCKPILING				Eng. Estimate
	TOPSOIL (supply to 150mm depth - including load, haul & spread)	m ²	\$ 6.00	3800	\$ 22,800.00
	FINISH FINE GRADING	m ²	\$ 2.00	3800	\$ 7,600.00
	SEEDING (SWM Pond)	m ²	\$ 5.00	600	\$ 3,000.00
	SODDING	m ²	\$ 6.00	3200	\$ 19,200.00
	SUBTOTAL				\$ 52,600.00
2.0 HARDSCAPE / PAVING / SITE FURNISHINGS					
	CONCRETE PAVING	m ²	\$ 150.00	525	\$ 78,750.00
	PEDESTRIAN RAMPS w/TACTILE INDICATORS	l.s.			\$ 6,000.00
	BIKE RACK				Arch't Estimate
	WASTE RECEPTACLE	ea.	\$ 2,000.00	1	\$ 2,000.00
	BENCH	ea.	\$ 2,000.00	2	\$ 4,000.00
	SUBTOTAL				\$ 90,750.00
3.0 PLANTING (incl. supply materials and labour)					
	DECIDUOUS TREES (60mm cal., WB)	ea.	\$ 700.00	15	\$ 10,500.00
	DECIDUOUS TREES (45mm cal., WB)	ea.	\$ 500.00	9	\$ 4,500.00
	MULTI-STEM TREES (200cm and 250cm ht, B&B)	ea.	\$ 350.00	15	\$ 5,250.00
	EVERGREEN TREES (175cm ht., B&B)	ea.	\$ 500.00	6	\$ 3,000.00
	DECIDUOUS SHRUBS (60cm ht, potted)	ea.	\$ 45.00	330	\$ 14,850.00
	DECIDUOUS SHRUBS (100cm ht, potted)	ea.	\$ 60.00	12	\$ 720.00
	EVERGREEN SHRUBS (60cm spr, potted)	ea.	\$ 60.00	118	\$ 7,080.00
	EVERGREEN SHRUBS (125cm ht, potted)	ea.	\$ 120.00	12	\$ 1,440.00
	ORNAMENTAL GRASSES / PERENNIALS (1 gal.pot)	ea.	\$ 25.00	105	\$ 2,625.00
	AQUATICS(10cm pot)	ea.	\$ 15.00	75	\$ 1,125.00
	SUBTOTAL				\$ 51,090.00
SUMMARY					
1.0	SITE WORKS			\$	52,600.00
2.0	HARDSCAPE / PAVING / SITE FURNISHINGS			\$	90,750.00
3.0	PLANTING			\$	51,090.00
	TOTAL			\$	194,440.00
					Plus Contingency, Taxes, Fees

Not included: concrete curbs, asphalt driveway paving, retaining walls, bollards, bicycle repair station, fencing, parking stall paint lines, catchbasins, manholes, underground servicing, tile bed, etc.

MAP 1A

LAND USE DESIGNATIONS

- Urban System**
 - Community Area
 - Employment Area
- Agricultural System**
 - Holland Marsh Specialty Crop Area
 - Agricultural Area
 - Rural Area
 - Hamlet
- Provincial Highways**
 - Existing
- Municipal Boundaries**
 - Regional Municipal Boundary
 - Local Municipal Boundary



Produced by: The Regional Municipality of York
Planning and Economic Development Branch, Corporate Services Department, 2022
Data: The Regional Municipality of York, The Regional Municipality of Durham and Peel,
City of Toronto, City of Markham, City of Richmond Hill, City of Vaughan, Town of Aurora,
Town of East Gwillimbury, Town of Georgina, Town of Whitchurch-Stouffville,
Town of Newmarket, Township of King, Township of Simcoe, and Township of York.
Boundaries and other features
Based on best available data and may contain minor errors or omissions.

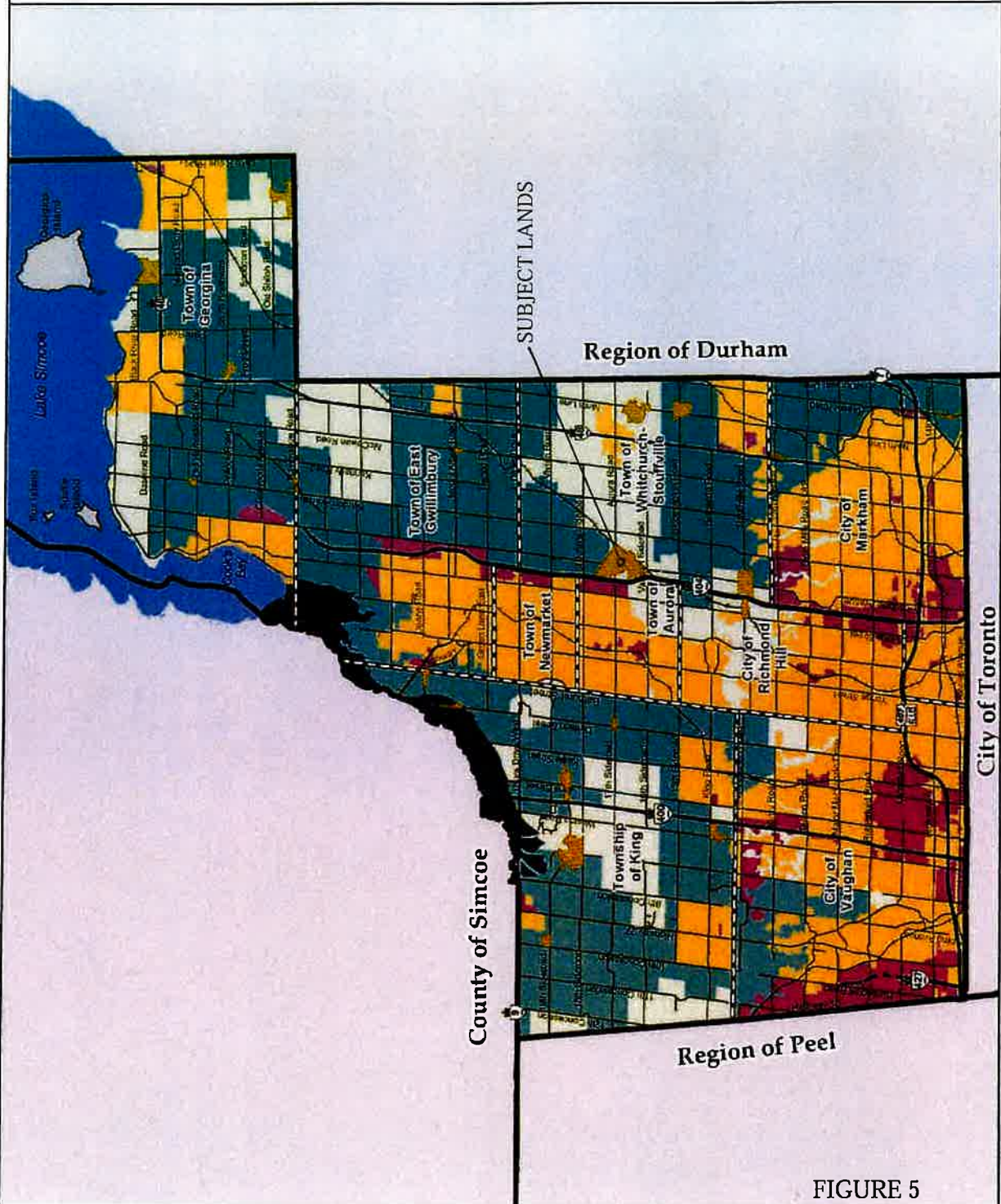


FIGURE 5

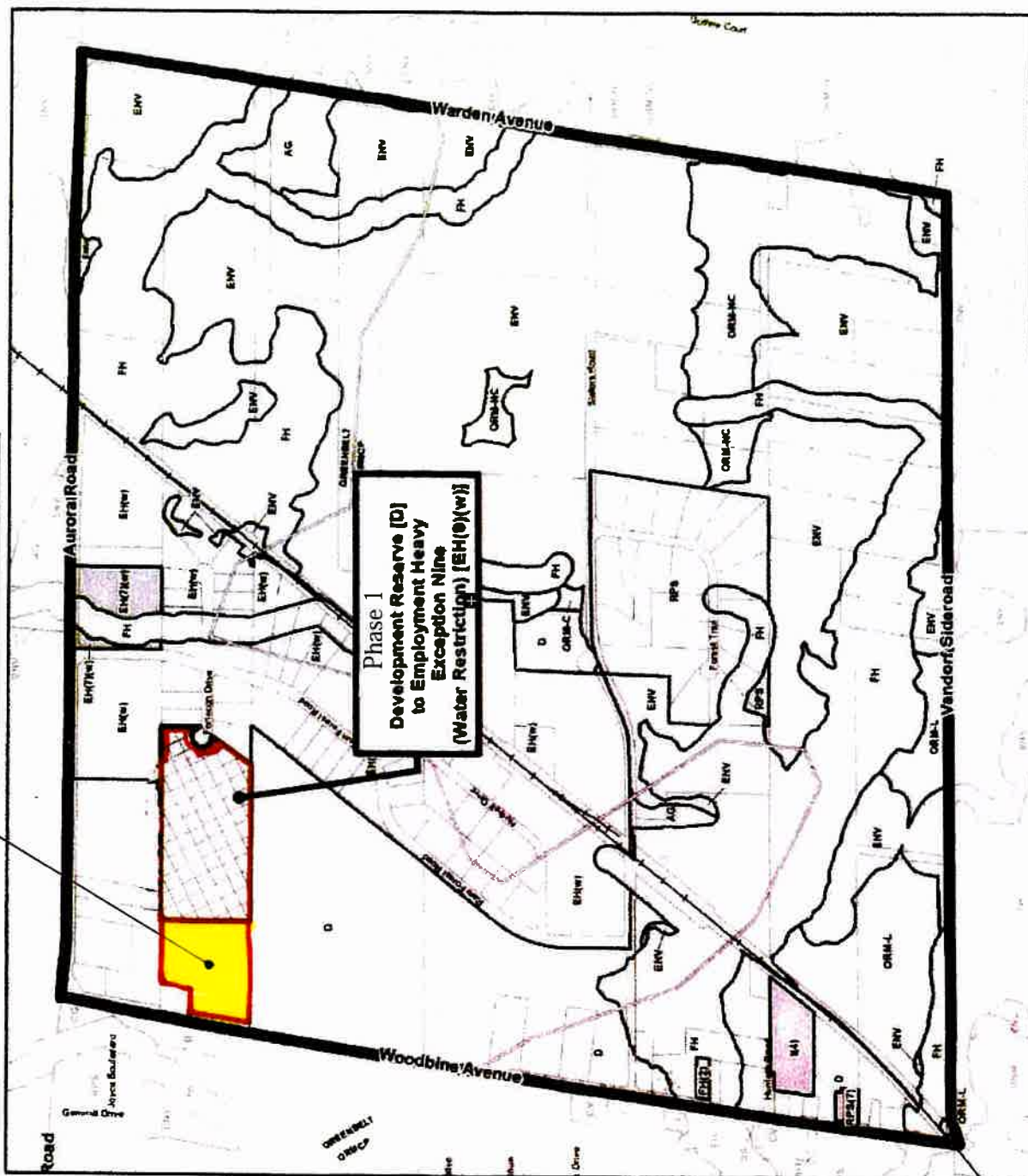


FIGURE 6

APPENDICES

Appendix "A" Proposed Draft Amendment to Town Official Plan

Appendix "B" Proposed Amendment to Town Zoning By-law

Appendix "C" Town Pre-Applications Consultation Letter (August 26, 2021)

Appendix "D" List of Technical Support Studies Plan

APPENDIX "A"

Proposed Draft Amendment to Town Official Plan

THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE

BY-LAW NUMBER 2022-132-OP

BEING A BY-LAW to adopt Official Plan Amendment No.xxx
to the Official Plan for the Town of Whitchurch-Stouffville
Planning Area which, on the 1st day of January 1971, comprised all the lands within the
municipal boundary of the area municipality of The Corporation of the Town of
Whitchurch-Stouffville (15123 Woodbine Avenue)

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF
WHITCHURCH-STOUFFVILLE ENACTS AS FOLLOWS:

1. That Amendment No. xxx to the Official Plan for the Town of Whitchurch- Stouffville Planning Area which, on the 1st day of January, 1971, comprised all the lands within the municipal boundary of the Area Municipality of The Corporation of the Town of Whitchurch-Stouffville, is hereby adopted; and
2. That The Corporation of the Town of Whitchurch-Stouffville make application to the Regional Municipality of York for approval of said Amendment No. xxx to the Official Plan of the Town of Whitchurch-Stouffville; and
3. That the Mayor and Clerk be hereby authorized and empowered to execute the said Amendment No. 160 to the Official Plan on behalf of this Corporation and to affix thereto the Corporate Seal and to make or cause to be made on behalf of this Corporation such application as may be necessary to the Regional Municipality of York for approval of said Amendment No. 160 to the Official Plan and to execute under the Corporate Seal such documents as may be required for the above purposes.

READ a first and second time this_ day of_____ 2023

READ a third time and passed this_ day of_____ 2023

Mayor

Town Clerk

AMENDMENT NO. xxx
TO THE
OFFICIAL PLAN OF THE
TOWN OF WHITCHURCH-STOUFFVILLE
PLANNING AREA

COUNCIL

THE TOWN OF WHITCHURCH-STOUFFVILLE

MAYOR

I. LOVATT

COUNCILLORS

K. ACTON

M. SMITH

H. KROON

R. UPTON

R. BARTLEY

S. SHERBAN

THE CERTIFICATION

AMENDMENT No. XXX

**OFFICIAL PLAN OF THE TOWN OF WHITCHURCH-STOUFFVILLE PLANNING
AREA**

WHITCHURCH-STOUFFVILLE

The attached text, constituting Amendment No. xxx to the Official Plan for the Town of Whitchurch-Stouffville Planning Area which, on the 1st day of January, 1971, comprised all the lands within the municipal boundary of the Area Municipality of The Corporation of the Town of Whitchurch-Stouffville, was adopted by The Corporation of the Town of Whitchurch-Stouffville by By-law No. 2023-xxx- OP in accordance with the Planning Act on the xx day of _____ 2023

Ian Lovatt, Mayor

Town Clerk

STATEMENT OF COMPONENTS

PART 1 - THE PREAMBLE does not constitute part of this Amendment

PART 1 - THE PREAMBLE consisting of the attached text and schedules constitutes Amendment No. xxx to the Official Plan for the Town of Whitchurch-Stouffville.

AMENDMENT NO. xxx

**TO THE OFFICIAL PLAN OF THE WHITCHURCH-STOUFFVILLE
(COMMUNITY OF VANDORF-PRESTON LAKE SECONDARY PLAN
SECONDARY PLAN)**

INDEX

PART I-THE PREAMBLE

1. Purpose
2. Location
3. Basis

PART II - THE AMENDMENT

PART I-THE PREAMBLE

1. PURPOSE

The purpose of Amendment No. xxx to the Town of Whitchurch-Stouffville Official Plan is to delete the potential local road identified on Schedule 'G' in the Vandorf-Preston Lake Secondary Plan from the subject lands known municipally as 15123 Woodbine Avenue - Phase 2.

2. LOCATION

This Official Plan Amendment applies to those lands described municipally as 15123 Woodbine Avenue - Phase 2 lands to permit an industrial warehouse, contractors yard and screened open storage use on the easterly 0.48 ha of the "Potential Mixed Use Area" designation by an Exception and deletion of the potential local road identified on Schedule A.

3. BASIS

This Official Plan Amendment was initiated by the applicant and is intended to facilitate the development of a two storey headquarters office building. A future second office building is proposed with an industrial warehouse building, contractors' yard and related outdoor storage use on the subject lands easterly 0.40 ha of the "Potential Mixed Use" designation.

The proposed uses are permitted by the Official Plan. Schedule 'G' identifies a potential local road on the subject lands that if retained, would affect the feasibility of developing the subject lands for its intended and planned use. An alternative private driveway is proposed to serve the Phase 2 subject lands central situated on Woodbine Avenue.

The proposed Section 13.7.7.3 Exception is applicable to the eastern 0.48 ha of the "Potential Mixed Use Area" designation lying east of the proposed visual screening barrier fence.

On this basis, removing the potential road from the lands to be developed is supported and represents good planning.

The Council of the Town of Whitchurch-Stouffville is satisfied that Amendment No. xxx to the Town of Whitchurch-Stouffville Official Plan is appropriate.

PART 11-THEAMENDMENT

1. Introduction

All of this part of the document entitled Part II - The Amendment, which consists of the following text and Schedule 'A', constitutes Amendment No. 160 to the Official Plan for the Town of Whitchurch-Stouffville.

2. Details of the Amendment

The Official Plan for the Town of Whitchurch-Stouffville, as amended, is hereby amended as follows:

2.1 That Schedule 'G' of the Vandorf-Preston Lake Secondary Plan is hereby amended as follows:

- i. By adding a Section 13.7.7.3 Exception as follows:
- ii. 13.7.7.3 Exception Policy - 15123 Woodbine Avenue
 - i.) For the eastern 0.48 ha of the “Potential Mixed Use Area” designation on Schedule ‘G’ - Land Use and Transportation Plan. An industrial warehouse, contractors yard and screened open storage use is permitted subject to the Section 13.7.3.3 i)a) and b) land use policies

By removing the proposed local road from the Phase 1 lands, municipally known as 15123 Woodbine Avenue (Phase 1) as shown on Schedule A to this By-law.

3. Interpretation

The provisions set forth in the Town of Whitchurch-Stouffville Official Plan, as amended from time to time regarding the interpretation of that Plan, shall apply in regard to this Amendment and as may more specifically be set out or implied within the policies contained therein. Unless precluded, altered or exempted by any policies contained herein, all of the relevant policies of the Town of Whitchurch-Stouffville Official Plan shall apply to this Amendment.

APPENDIX "B"

Proposed Amendment to Town Zoning By-law

THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE

BY-LAW NUMBER 2023-xxx-ZO

BEING A BY-LAW to amend By-law 2010-001-ZO of the
Town of Whitchurch-Stouffville (Comprehensive Zoning By-law)
for the lands located at 15123 Woodbine Avenue

WHEREAS Section 34 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, permits the Councils of local municipalities to pass zoning By-laws prohibiting the use of land, or the erecting, locating or using of buildings or structures for, or except for such purposes as may be set out in the by-law.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE ENACTS AS FOLLOWS:

1. That Comprehensive Zoning By-law No. 2010-001-ZO is hereby amended as follows:
 - a) By amending Schedule 24 to rezone the lands from Development Reserve (D) to “EBP- Employment Business Park” and “EH-Employment Heavy (9)(w)” as shown on Schedule A to this By-law; and
 - b) By amending Section 7.3.3. Exception to the “EH Zone” to add a new Section 7.3.3.__ (Employment Heavy (9)(w)) as set out in Schedule B to this By-law.

READ a first and second time this xx day of _____, 2023.

READ a third time and passed this xx day of _____, 2023

Schedule B

7.3.3.____ 15123 Woodbine Avenue, Schedule 24 (2023-xxx-ZO)

Permitted Uses

All uses permitted under the zone

Regulations

i.) Minimum Rear Yard (From 10m to) 4 metres

2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31	32	33	34	35	36
37	38	39	40	41	42	43
44	45	46	47	48	49	50
51	52	53	54	55	56	57

ZONE DESCRIPTION	
Section 4	
AG - Agricultural	
ENV - Environmental	
FH - Flood Hazard	
ORM-C - Oak Ridges Moraine Countryside	
ORM-L - Oak Ridges Moraine Linkage	
ORM-NC - Oak Ridges Moraine Natural Core	
Section 5	
RPS - Residential Private Services	
RV - Residential Village	
R1 - Residential 1	
R2 - Residential 2	
R3 - Residential 3	
R4 - Residential 4	
RM1 - Residential Multiple 1	
RM2 - Residential Multiple 2	
Section 5A	
RN1 - New Residential 1	
RN2 - New Residential 2	
RN3 - New Residential 3	
RN4 - New Residential 4	
RN5 - New Residential 5	
Section 6	
CM1 - Downtown Mixed Commercial	
CM2 - Western Approach Mixed Commercial	
CMB - Commercial Residential Mixed - Ballantrae	
CG - General Commercial	
CL - Local Commercial	
CV - Village Commercial	
CR - Recreational Commercial	
Section 7	
EBP/EBP-G - Employment Business Park / - Gormley	
EH/EBH-G - Employment Heavy / - Gormley	
EL/EL-G - Employment Light / - Gormley	
ED - Employment Disposal	
EX - Employment Extraction	
Section 8	
I - Institutional	
OS - Open Space	
D - Development Reserve	
Section 2	
h - Holding Symbol	
f - Flood Vulnerable	
t - Temporary Use	
w - Water Restriction	
WDA - Waste Disposal Area	

Town of Whitby/Stouffville
Zoning By-law 2010-001-ZO
Revised: January 2023



Appendix “C”

Town Pre-Applications Consultation Letter (August 26, 2021)



**TOWN OF
WHITCHURCH-STOUFFVILLE**

111 Sandiford Drive, Stouffville, ON L4A 0Z8

Customer Service Centre: 905-640-1900
Toll Free: 1-855-642-TOWN (8696)
Automated: 905-640-1910
Toll Free: 1-855-642-TOWS (8697)
Fax: 905-640-7957
www.townofws.ca

File No: PRE21.063

Date: August 26, 2021
Attention: Amir Soleimani , ASoleimani@limengroup.com
Company: Limen Group
Address: 46 Le Page Court Toronto ON M3J 1Z9

Correspondence via email

Re: Pre-consultation - Comments
15123 Woodbine Avenue

Subject Property	
Legal Description:	65M2571 Part of Lot 20, Conc 4 65M2571 BLK 19, Part of Block 21 and 22
Lot Area:	~ 12.5 hectares
Current Land Use:	Vacant

Applicant/Owner Proposal	
Owner: FORTECON CONSTRUCTION COMPANY LIMITED	Applicant: Randy Alcorn, Agent
Proposed industrial building in the north-east corner (GFA ~8100 sq. m) with parking spaces to accommodate employees and visitors. Lands to be re-zoned Employment Heavy (EH) with special provisions. Un-serviced lot. Stormwater management pond. Tile bed area. Proposed new drilled well. Fire suppression and underground storage tanks. Adjustments to yard setbacks and increase in the percentage of outdoor storage area is being requested beyond what is allowed in an Employment Heavy zone in order to accommodate the proposed development. Screened open storage yard ~6.7 hectares in area. 'Future development' area with two (2) buildings indicated on the plan to be used as offices for the business fronting on to Woodbine Avenue. Accounts for ~4 hectares of the total lot area.	

Pre-consultation Request Received Date	Pre-consultation Meeting Date (if applicable)
July 12, 2021	August 10, 2021

Provincial Policy		
Provincial Designation(s):	Greenbelt	Select Designation (if applicable)
Comments:		

- See comments below in 'Town of Whitchurch-Stouffville Official Plan' section

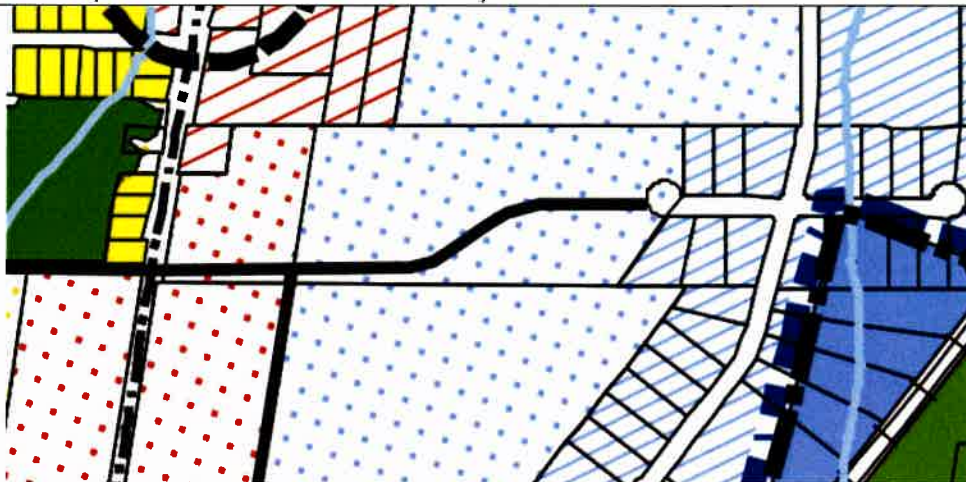
Town of Whitchurch-Stouffville Official Plan

Current Official Plan Designation(s):	Select OP Designation	Select OP Designation (if applicable)
Secondary Plan Designation (if applicable):	Vandorf-Preston Lake	
Applicable Policies and Tables:	• Schedule G, Land Use and Transportation Plan • Schedule G1, Trail System and Gateways • Schedule G5, Wellhead Protection Areas • Schedule A, Greenlands System	

Comments:

The property is located in the Hamlet of Vandorf, which is within the Protected Countryside Area of the Greenbelt Plan and identified as a Hamlet. Hamlets are subject to the policies of the Growth Plan and continue to be governed by official plans and are not subject to the policies of the Greenbelt Plan, save for the policies of sections 3.1.5, 3.2.3, 3.2.6, 3.3 and 3.4.2. Limited growth is permitted through infill and intensification of Hamlets subject to appropriate water and sewage services. The Town's Official Plan has not yet been updated to conform to the Greenbelt Plan, however, the applicable policies of the Greenbelt Plan continue to apply.

See additional policies attached with the Policy comments



Aerial Image Indicating Current OP Designation

Note: The Town's Official Plan July 2017, as amended, shall be read in its entirety. Additional provisions may apply.

Town of Whitchurch-Stouffville Zoning

Zoning Regulation(s):	Development Reserve (D)	Employment Heavy (EH)
	Select a zone (if applicable)	Select a zone (if applicable)
Applicable Policies and Tables:	• Section 3 – General Provisions – parking, loading, drive aisles, accessory outdoor storage, landscape buffers, etc.	

	• Section 7 – Employment zones • Section 8 – Development Reserve zone • Section 9 - Definitions
Comments:	
• Development Reserve (D) – permitted uses are: Agricultural Uses, Buildings and Structures, Existing Buildings and Structures, Home Occupation, and Single Detached Dwellings • Employment Heavy (EH) – permitted uses are: Accessory Outdoor Storage, Accessory Retail Store, Bulk Storage Tank, Club, Contractors Yard, Day Care Centre, Equipment Sales and Rental, Foundry, Heavy Equipment Sales and Service, Manufacturing or Assembling or Processing, Motor Vehicle Body Repair Shop, Office, Public Garage, Public Storage Facility, Research and Development Establishment, Recreational Vehicle Sales and Service, Sawmill, Service Establishment, Transportation Terminal, and Warehouse • Note: some of the uses noted above in both zones have further restrictions • See Table 7.2 attached that indicates the yard, height, etc. regulations set forth by the current Town Zoning Bylaw	



Aerial Image Indicating Current Zoning

Note: The Town's Comprehensive Zoning By-law 2010-001-ZO, as amended, shall be read in its entirety. Additional provisions may apply.

Town of Whitchurch – Stouffville Department Comments

Development Planning and Urban Design

- As indicated in the Town's Official Plan and comments provided by the Region, a public road is proposed connecting Fortecon and Woodbine.
- As noted by the Applicant, a re-zoning is required. The proposed development constitutes 'major development' in the ORM 2017 (see Policy and Region comments attached). Development Reserve area to be rezoned to EH and the entirety of lands to have site specific zoning regulations
- The request for reduction in side yard will need to be evaluated through the ZBA review process and will be dependent on Elevations / Massing plans for the proposed building(s) being provided and appropriate screening to be in place for the Outdoor Storage areas
- The requested increase in Outdoor Storage from 60% to 75% areas will need to be screened, justified in a Planning Justification Report, restrictions on materials / chemicals will be required

(i.e. harmful chemicals, solvents, etc.), and internal road network shown on the Site Plan and Engineering drawings

- Applicant / Owner to note landscape buffers (required in the Town ZB) and building (industrial and office buildings) height requirements (limitations are set in the ZB and OP)
- The entirety of the lands, as this is a through lot and prominent Frontage is on Woodbine Avenue, will be considered through the Planning process, unless the Applicant / Owner is proposing a Plan of Subdivision or Consent?
- Additional comments and considerations will be forthcoming if an application, in accordance with the Planning Act, is received by the Town

Policy Planning

- See comments attached
- An application for an Official Plan Amendment would be required to permit the 'Contractor's Yard Open Storage Expansion' as shown on the Concept Plan as the proposed use, including open storage is not permitted within the Potential Mixed Use Area designation.

Heritage Planning

- See comments attached.
- An Archeological State 1 and 2 are required

Building and Zoning

- See comments attached.

Engineering

- See comments attached and Technical Checklist requirements.

Public Works

- There is a reserve in place around the Fortecon cul-du-sac that would need to be lifted for access to the lands



- Additional comments to follow if a formal application is received.

Fire and Emergency Services

- See comments attached.

External Agency Comments

Lake Simcoe Region Conservation Authority

- See comments attached.

Regional Municipality of York

- See comments attached.
- Note: Requirement for Public road needs to be considered and / or discussed with the Region

Submission Requirements

All supporting documents as identified on the **Technical Study Checklist** (see attached) will be required at the time of submitting the application(s). As the detailed review of the application(s) progresses, additional material may be required in support of the proposal. Required Town Planning applications are indicated below:

☒ Official Plan Amendment	☐ Draft Plan of Subdivision
☒ Zoning By-law Amendment	☐ Draft Plan of Condominium/Exemption
☒ Site Plan Control	☐ Minor Variance (C of A)
☐ Site Plan Control (Heritage / ORM)	☐ Consent (C of A)
☐ Site Plan Control Amendment	☐ Part Lot Control Exemption
☐ Fire Route Application	☐ Other

The application(s) will only be considered complete once all required; forms, drawings, studies, and reports have been submitted and the comments/issues identified in this memo and all attached documents have been addressed and required fees have been paid. Please submit all completed application form(s) and materials to the Planning Department.

Fees

Fees are collected in accordance with the current *Fees and Charges By-law* at the time of the application. Contact planning staff for the current fee schedule prior to making an application submission. Payment methods that are accepted are via cheque and credit up to \$5000.00. Please make all cheques payable to the *Town of Whitchurch-Stouffville*. the Town currently does not accept debit payments.

Declaration / Authorization

The Declaration in the application forms must be signed in the presence of and witnessed by a Commissioner of Oaths in accordance with the *Canada Evidence Act* for the application to be valid. If the Declaration is signed by any person other than the Owner, the Owner must complete the Authorization for submission of the applications to be accepted by the Town.

Disclaimer

Be advised that the comments above, technical study checklist, and any attached comments /documents are based upon the information and materials that were provided as part of this pre-consultation application. Should the scope of the proposal change, or additional approvals are required under the *Planning Act*, as amended, the Town and external review agencies reserve the right to request additional and/or revised information as required.

The \$500.00 deposit will be deducted from the required application fee if a *Planning Act* Application is submitted within one (1) year from the package issuance date indicated at the top of page 1 of this document. There will be no refunds issued if an application is not received within one (1) year from the package issuance date indicated at the top of page 1 of this document.

This pre-consultation shall expire two (2) years from the package issuance date indicated at the top of page 1 of this document.

Please contact me if you have any planning process related questions at extension **2326** or email **laura.dainard@townofws.ca**.

Yours Truly,

Laura Dainard, Development Senior Planner

Attachments:

See all comments attached

CC:

Persons/Departments

7.2

Regulations

	EL	EL-G	EH	EH-G	EX	ED	EBP	EBP-G
Minimum Lot Area	0.4 ha	0.8 ha(11)	0.8 ha(11)	0.8 ha(11)	(9)	4 ha	0.4 ha	0.8 ha(11)
Minimum Lot Frontage	30 m	30 m	30 m	30 m	(9)	100 m	30 m	30 m
Minimum Front Yard	7.5 m (3)(7)	10 m (7)	10 m (7)	10 m (7)	(9)	30 m (4)(7)	10 m (7)	10 m (7)
Minimum Exterior Side Yard	7.5 m (7)	10 m (7)	10 m (7)	10 m (7)	(9)	30 m (4)(7)	10 m (7)	10 m (7)
Minimum Interior Side Yard	7.5 m (7)(8)	7.5 m (7)(8)	7.5 m (7)(8)	7.5 m (7)(8)	(9)	15 m (4)(7)(8)	6 m (7)(8)	6 m (7)(8)
Minimum Rear Yard	10 m (7)	10 m (7)(8)	10 m (7)	10 m (7)(8)	(9)	15 m (4)(7)	10 m (7)	10 m (7)(8)
Minimum Yard abutting OS, ENV, R and RN Zones	10 m (1)(5)	30 m (1)(5)	30 m (1)(5)	30 m (1)(5)	(9)	60 m (1)(5)	10 m (5)	30 m (5)
Maximum Floor Space Index	1		1		(9)	1	1	
Minimum Building Gross Floor Area	n/a	186 m ²	186 m ²	186 m ²	(9)	186 m ²	n/a	n/a
Maximum Height of Buildings	20 m	20 m	12 m	12 m	(9)	12 m	20 m	20 m
Minimum Landscaped Area	10% of lot area	10% of lot area	10% of lot area	10% of lot area	(9)	20% of lot area	10% of lot area	10% of lot area
Front Yard Landscaped Area	50% of front yard area	50% of front yard area	50% of front yard area	50% of front yard area	(9)	50% of front yard area	50% of front yard area	50% of front yard area
Accessory Outdoor Storage	20% of lot area (6)(10)	20% of lot area (6)(10)	40% of lot area on lots less than 2.4 ha; 60% of lot area on lots greater than 2.4 ha (10)(11)	40% of lot area on lots less than 2.4 ha; 60% of lot area on lots greater than 2.4 ha (10)(11)(13)	(9)	20% of lot area (10)	n/a	n/a
Maximum Lot Coverage		35%		35%				35%
Minimum Setback to Hedgerow				3 m (12)				3 m (12)

(2011-151-ZO) (2011-152-ZO) (2013-114-ZO)

7.2.1 Qualifying Notes to Regulations

- (1) Any yard abutting an OS, ENV, FH, R or RN Zone must be landscaped.
- (2) NOT IN USE
- (3) Lots on private services require a minimum 15 m front yard.
- (4) All minimum yards must be screened to create an opaque screen in accordance with the Town's Fencing By-law. **(2013-114-ZO)**
- (5) If the need is established pursuant to Section 3.20 and/or a Natural Heritage Evaluation or Hydrological Evaluation, as applicable, a greater setback may be required.
- (6) An accessory outdoor storage area shall only be used for the temporary storage of finished or semi-finished products, processed, manufactured, assembled, repaired or used on the premises in a building.
- (7) A minimum 4.5 m of the required yard must be landscaped.
- (8) In the case of 2 lots which are combined as part of a singularly planned development with shared parking and loading facilities, no minimum landscaped strip shall be required within the abutting interior side yards.

In the case of 2 abutting lots developed individually, the minimum landscaped strip width within each abutting yard may be 3 m, for a combined landscaped width of 6 m.

- (9) Subject to the standards and regulations in the "Aggregate Resource of Ontario Provincial Standards".
- (10) Accessory outdoor storage is permitted only as an accessory use to a permitted use taking place in a building on the site and is permitted in rear and side yards only. The area used for accessory outdoor storage shall be screened in accordance with the Town's Fencing By-law. Notwithstanding any provision in this By-law to the contrary, the minimum landscaped buffer at the property boundary shall be 4.5 m in a lot with accessory outdoor storage. The screening shall not be subject to any minimum yard requirements of this By-law.
- (11) The minimum lot area may be reduced to 0.4 ha subject to the submission and approval by The Town of a hydrogeological report and other technical studies required to verify that the lot at the reduced size can be properly serviced with private well and sanitary services to the satisfaction of the Town. **(2011-151-ZO) (2016-144-ZO)**

- (12) The minimum setback applies to all buildings and structures, parking areas or accessory outdoor storage. The setback shall be measured from the staked dripline of the hedgerow feature. No re-grading or soil stripping shall be permitted in the setback area. **(2011-151-ZO)**
- (13) For lots that are zoned Employment Business Park-Gormley (EBP-G) and Employment Heavy-Gormley (EH-G) and, in instances where that portion of the lot zoned EH is greater than 2.4 ha in area, the maximum coverage for Accessory Outdoor Storage within the Employment Heavy Zone is 80%. The minimum landscaped buffer at the property boundary of 4.5 shall be required notwithstanding any other provision of this By-law. **(2011-151-ZO)**

**Planning Application Submission Checklist****Additional Materials and Studies Required for the Submission of Planning Act Application(s)**

- | | | | |
|---|--|--|---|
| ☒ SPC (Agreement) | ☐ SPC (Amendment) | ☐ SPC (Residential) | ☐ SPCA (ORM) |
| ☒ ZBA (Rezoning) | ☐ ZBA (Temporary) | ☐ ZBA (Removal of Holding Symbol) | ☐ ZBA (Conditional) |
| ☐ SUB (Proposed Draft Plan) | ☐ SUB (Revision to DPA) | ☐ SUB (Extension of DPA) | ☐ Part Lot Control Exemption |
| ☐ CDM (Proposed Draft Plan) | ☐ CDM (Revision to DPA) | ☐ CDM (Extension of DPA) | ☐ CDM (Exemption from DPA) |
| ☒ OPA | ☐ Consent | ☐ Minor Variance | ☐ Other: |

PROPERTY: 15123 Woodbine Avenue**PROPOSAL:** Industrial building, contractors yard, outdoor storage, and office buildings (future development),

Plans/Reports/Studies	Required (✓)	No. of hard copies	Comments	Staff Checkoff at Submission
APPLICATION & FEES				
App. Declaration, Authorization & Commissioning	✓			
Application Fee(s)	✓		Refer to Planning Applications Fees Schedule	
Peer Review Security Deposit (210-XX-YY-##-#)	✓		Refer to Planning Applications Fees Schedule	
Fire Route Application & Fee	✓		Refer to Fire Route Application Package on Town's Website	
GENERAL				
Property Survey	✓	1	Prepared by an Ontario Land Surveyor (OLS)	
Land Titles Documents (Deeds w/ registered easements)	✓	1		
ARCHITECTURAL				
Preliminary Building Design OBC Matrix	✓	1	Required at Site Plan phase	
Site Plan	✓	1		
Floor Plan(s)				
Elevation Drawings	✓	1		
Building Sections				
Landscape Plan & Details	✓	1		
Landscape Cost Estimates	✓	1	Required at Site Plan phase	
ENGINEERING				
Engineering Cost Estimates	✓	1	Required at Site Plan phase	
Site Servicing Plan	✓	1	Lot is unserviced. Additional approvals will be required for deep wells and septic design.	
Grading Plan	✓	1		
Erosion and Sediment Control Plan	✓	1		
Lighting/Illumination/Photometric Plan	✓	1	Provide Horizontal Illuminance Level in Lux; Provide luminaire and pole specification sheets; Indicate Light Loss Factor (LFF)	
Lighting Cost Estimates				
Geotechnical Report	✓	1		
Stormwater Management Report	✓	1		
Slope Stability Study				

Plans/Reports/Studies	Required (✓)	No. of hard copies	Comments	Staff Checkoff at Submission
Functional Servicing Report	✓	1		
Hydraulic Analysis for Floodplain Delineation				
Hydrogeological Assessment	✓	1		
Operation Maintenance Report				
Construction Management Plan	✓	1	Required at Site Plan phase	
Noise Impact Study	✓	1		
Vibration Study	✓	1		
Air Quality Impact Study				
Wind Study				
Soil Quality Study				
Railway Corridor Safety Study				
Traffic Impact Analysis	✓	1	Approval authority is York Region	
Fill Management Plan	✓	1		
PUBLIC WORKS				
Waste Management Plan	✓	1		
Site Servicing Plan			See Engineering requirement above	
MOECC Form 1				
Tree Preservation, Protection and Removal Plan			For trees on public property impacted by the development	
Tree Canopy Loss/Enhancement Within the Town			Provide details in relation to urban forest, air quality and green infrastructure impacts	
PLANNING				
Draft of OPA / ZBA	✓	1		
Planning Justification Report	✓	1		
Sustainable Development Report				
Land Use Compatibility Study				
Urban Design Brief				
Retail Impact Study				
Parking Standard Analysis/Justification				
Matrix of Responses to the comments provided in earlier submission				
ENVIRONMENTAL				
Environmental Site Assessment – Phase 1	✓	1	Required for 'office' area at minimum. Phase 2 may be required depending on Phase 1.	
Record of Site Condition	✓	1		
Tree Analysis/Inventory				
Natural Heritage Evaluation (Required on lands within 90 m within an ENV zone)	✓	1		
Hydrological Evaluation (Required on lands within 90 m within a FH zone)	✓	1	See above in 'Engineering'	

Plans/Reports/Studies	Required (✓)	No. of hard copies	Comments	Staff Checkoff at Submission
Oak Ridges Moraine Conformity Statement / Report			To be demonstrated in the PJR	
Minimum Distance of Separation (OMAFRA)				
Nutrient Management Plan (OMAFRA)				
Watershed & Sub-watershed Study				
Water Analysis Report				
Dust/Odour Control Study				
Agricultural Impact Evaluation				
Environmental Impact Study (Required on lands within areas of Greenlands System)	✓	1		
Contamination Management Plan (Required for lands within a Highly Vulnerable Aquifer as deemed necessary by the Town)			For major source water development applications involving the manufacturing, handling and/or storage of bulk fuels or chemicals (activities as prescribed under the <i>Clean Water Act</i>)	
Water Balance Assessment (Required for proposal considered <i>major development</i> under Source Protection Plan)	✓	1		
Section 59 Notice (Required for ICI, farm structure, residential fuel oil storage proposal in Wellhead Protection Areas)	✓	1	Confirm with Region if this item is required. Contact Risk Management Office at York Region sourcewaterprotection@york.ca	
CULTURAL				
Cultural Heritage Impact Assessment				
Shadow Study				
Architectural Control Guidelines				
Compliance Certificate from Control Architect				
Rental Housing Conversion Study				
Analysis of and Impact Mitigation to Views and Vistas from the ORM Ridgeline				
Archaeological Resource Assessment	✓	1	Stage 1 and 2 at minimum	
OTHER APPLICABLE REQUIREMENTS				
Toronto & Region Conservation Authority Permit			See additional studies / reports required by LSRCA in attached comments. Applicant is required to apply for separate permits directly with the government agency and submit the approvals as part of a complete Building Permit Application to the Town. See Building Permit Applicable Law Declaration	
Lake Simcoe & Region Conservation Authority Permit	✓	1		
Ministry of Transportation Land Use Permit				
DIGITAL SUBMISSION				
1 full set of ALL drawings and reports in digital format (PDF and/or AutoCAD) provided on a CD/ USB/FTP Link	✓	D	Applicant is required to submit ALL drawings and reports that are accessible as defined by the Accessibility for Ontario with Disabilities Act (2005)	

APPENDIX "D"

**List of Technical Support Studies, Plans and Materials
SCAL Properties Inc., Phase 2, Fortecon Drive**

March 30, 2023

LIMEN GROUP, Phase 2

Applications for Town Official Plan Amendment, Zoning By-law Amendment and Site Plan Approvals

List of Technical Support Reports, Plans and Materials

Material/Study	Consultant
Applications Submission Letter to Town - May 11, 2023	Alcorn
Application Preparation	Alcorn
App. Declaration, Authorization & Commissioning	Alcorn
Application Fee(s)	Alcorn
Peer-Review Security Deposit	Alcorn
Property Survey	Alcorn
Land Title Documents	Alcorn
Archaeological Resource Assessment Report, Stage 4	Archeoworks
Natural Heritage Evaluation	RiverStone
Site Plan	KNYMH/Alcorn
Floor Plan(s)	KNYMH
Building Elevation Drawings	KNYMH
Preliminary Building Design OBC Matrix	KNYMH
Sewage System Report/Design Plans	Gunnell
Site Servicing Plan	Schaeffers
Grading SWM Plan	Schaeffers
Erosion and Sediment Control Plan	Schaeffers
Stormwater Management Report	Schaeffers
Functional Servicing Report	Schaeffers
Construction Management Plan (submitted in site alteration request)	Schaeffers
Lighting/Illumination/Photometric Plan	e-Lumen
Borehole/Geotechnical Report	Soil Engineers
Hydrogeological Assessment	Gaman
Water Balance Assessment	Gaman
Water Supply Evaluation	Gaman
Environmental Noise Vibration Impact Study	Jade
Traffic Impact Analysis	BA Group
Landscape Plan & Details	MBTW
Landscape Cost Estimates	MBTW
Planning Justification Report	Alcorn
Draft OPA and ZBA	Alcorn
1 full set of ALL drawings and reports in FTP format provided to Town Link (2big4email)	Alcorn

PAC letter Listed studies confirmed that are not required for Phase 2:	Reason as to not required for Phase 2:
– Fill Management Plan (FMP)	– FMP to be submitted in the 2 nd submission
– Waste Management Plan	– site waste removal by private contractor; no municipal pick-up in this area
– Environmental Site Assessment	– required when lands/blocks/parts conveyed to municipality, which is not proposed
– Record of Site Condition	– same as above
– Hydrological Evaluation	– there are no FH zones on-site, or within 90m
– Section 59 Notice	– not required by Region as not within Wellhead Protection Area (Map 6 - Region Official Plan)
– LSRCA Site Alteration Permit Request	– subject lands are within LSRCA Regulation Area and required site alteration permit to the LSRCA is to follow